

# JAMES MCDADE CLASSICAL SCHOOL ANNEX & RENOVATIONS

8801 SOUTH INDIANA AVE.,  
CHICAGO, ILLINOIS 60619  
PBC PROJECT NUMBER 05255



**PUBLIC BUILDING COMMISSION OF CHICAGO**  
RAHM EMANUEL, CHAIRMAN  
CARINA E. SÁNCHEZ, EXECUTIVE DIRECTOR

**CHICAGO PUBLIC SCHOOLS**

JANICE JACKSON, CHIEF EXECUTIVE OFFICER  
FRANK M. CLARK, CHICAGO BOARD OF EDUCATION PRESIDENT

## SCHEMATIC DESIGN 11.21.2018

### DESIGN ARCHITECT

LEGAT ARCHITECTS, INC.  
651 W. WASHINGTON STREET, SUITE #1  
CHICAGO, IL 60661  
P: 312.258.9595

### ARCHITECT OF RECORD

NAME  
ADDRESS  
ADDRESS LINE 2  
P: XXX.XXX.XXXX

### STRUCTURAL ENGINEER

DAVID MASON + ASSOCIATES  
ADDRESS  
CHICAGO, IL 60606  
P. 312.987.9800  
F. 312.987.9892

### CIVIL ENGINEER

TERRA ENGINEERING LTD.  
225 W. OHIO STREET, 4TH FLOOR  
CHICAGO, IL 60654  
P. 312.467.0123  
F. 312.467.0220

### MEP/FP ENGINEER

MEPIS INC.  
ADDRESS  
CHICAGO, IL 60601  
P. 312.669.0609

### LANDSCAPE ARCHITECTS

SITE DESIGN GROUP  
ADDRESS  
CHICAGO, IL 60654  
P. 847.458.0300

### FOOD SERVICE CONSULTANT

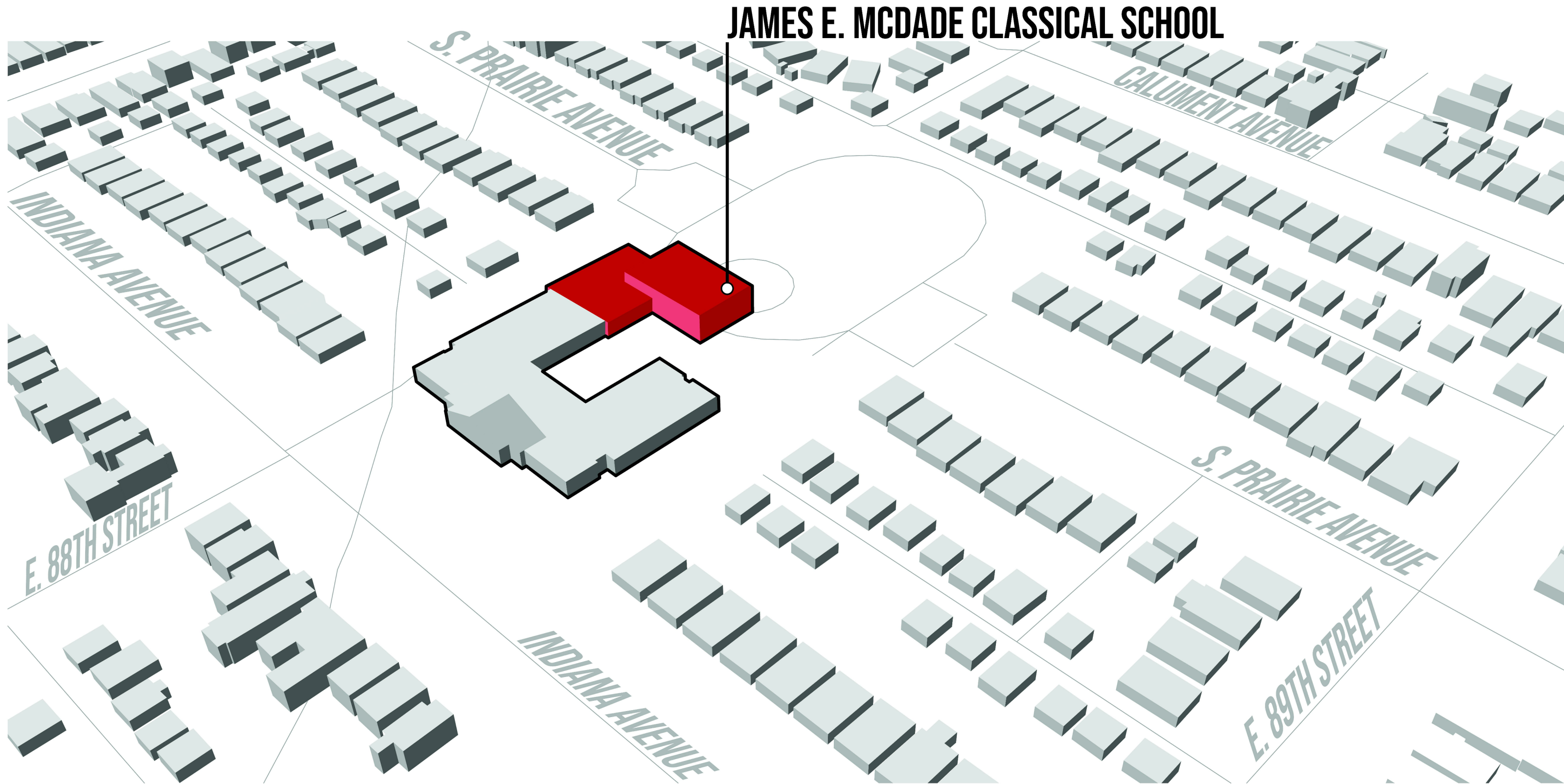
EDGE AND ASSOCIATES  
150 HOUSTON STREET, SUITE 304  
BATAVIA, IL 60510  
P. 855.962.4422

### ENVIRONMENTAL CONSULTANT

NAME  
ADDRESS  
ADDRESS LINE 2  
P. XXX.XXX.XXXX

### SCHEDULE OF DRAWINGS

GENERAL DRAWINGS  
G-001 TITLE SHEET  
G-401 PHASING PLAN  
LANDSCAPE DRAWINGS  
L-101 SITE PLAN  
L-102 SHADEY COURTYARD PRECEDENTS  
CIVIL DRAWINGS  
C-001 SITE DEMOLITION PLAN  
C-101 UTILITY RELOCATION & UTILITY PLAN  
C-102 STREET LIGHT REMOVAL PLAN  
ARCHITECTURAL DRAWINGS  
AD-101 FIRST FLOOR DEMOLITION PLAN  
A-101 FIRST FLOOR PLAN  
AR-101 ROOF PLAN  
A-201 EXTERIOR BUILDING ELEVATIONS  
A-202 EXTERIOR BUILDING ELEVATIONS  
ELECTRICAL DRAWINGS  
E-001 ELECTRICAL DIAGRAMS  
ES-101 SITE PLAN



#### CERTIFICATION STATEMENT:

I hereby certify that these plans were prepared under my direct supervision and to the best of my professional knowledge they conform to the Chicago Building Code.

Signature: \_\_\_\_\_  
Signed date: \_\_\_\_\_  
Illinois License Number: \_\_\_\_\_  
Registration Expiration date: \_\_\_\_\_

#### ENERGY CONSERVATION CODE COMPLIANCE STATEMENT:

I certify that I am a Registered Energy Professional (REP). I also certify that to the best of my professional knowledge, information and belief that the attached plans fully comply with the requirements of Chapter 18-13-303, Conservation of the Municipal Code of Chicago, except 18-13-303.

Signature: \_\_\_\_\_  
Signed date: \_\_\_\_\_  
Illinois License Number: \_\_\_\_\_  
Registration Expiration date: \_\_\_\_\_



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**

8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

**Design Architect:**  
**LEGAT ARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
**Gasperc Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPP Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN THE SCHOOL FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS-CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE
1	60% SD	11.9.18

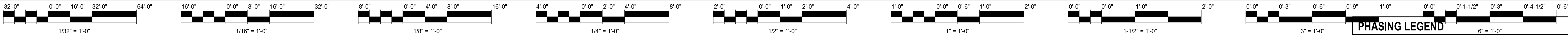
PBC Project Name: JAMES MCDADE CLASSICAL SCHOOL ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title

**TITLE SHEET**

Sheet

**G-001**

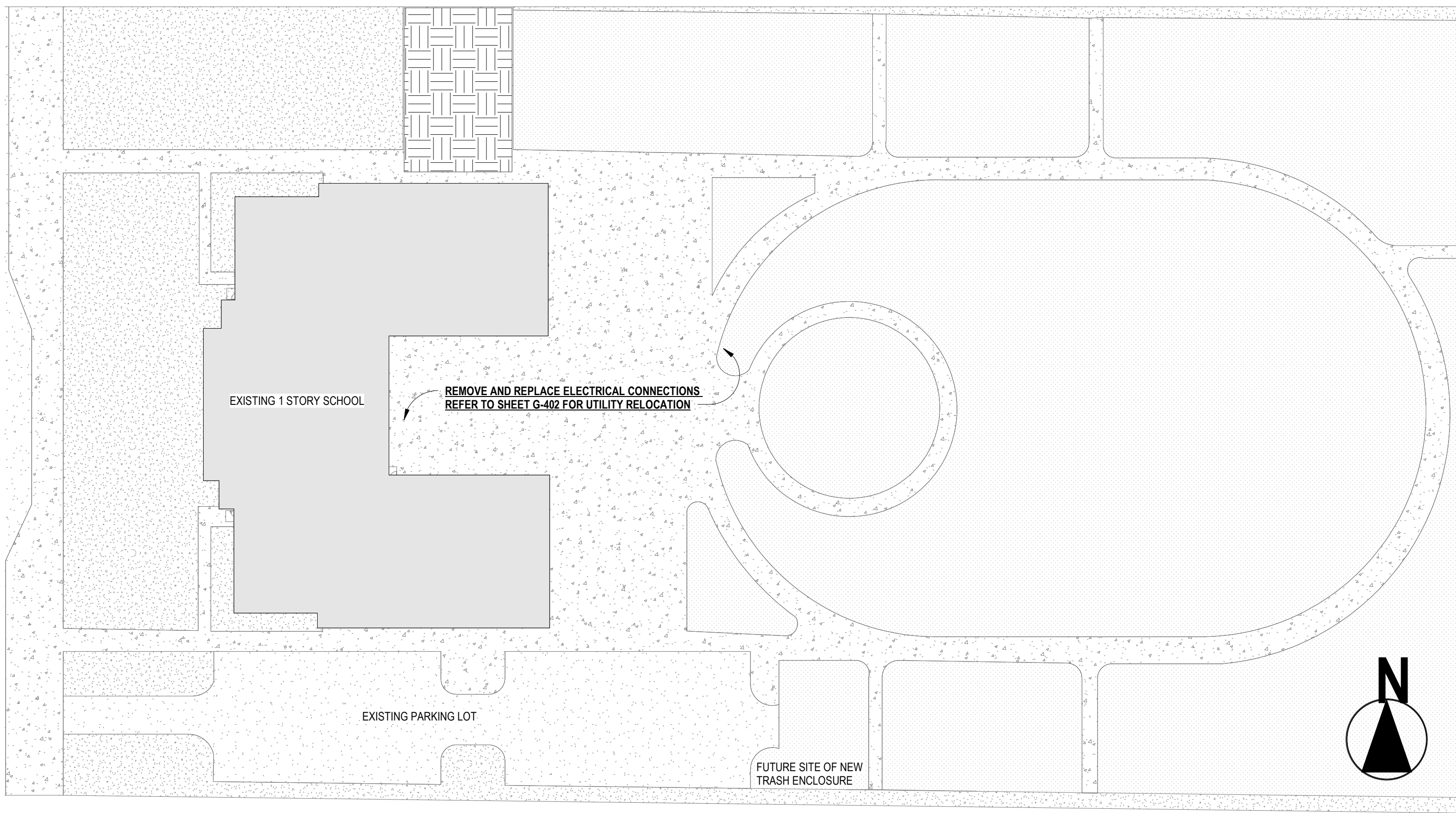




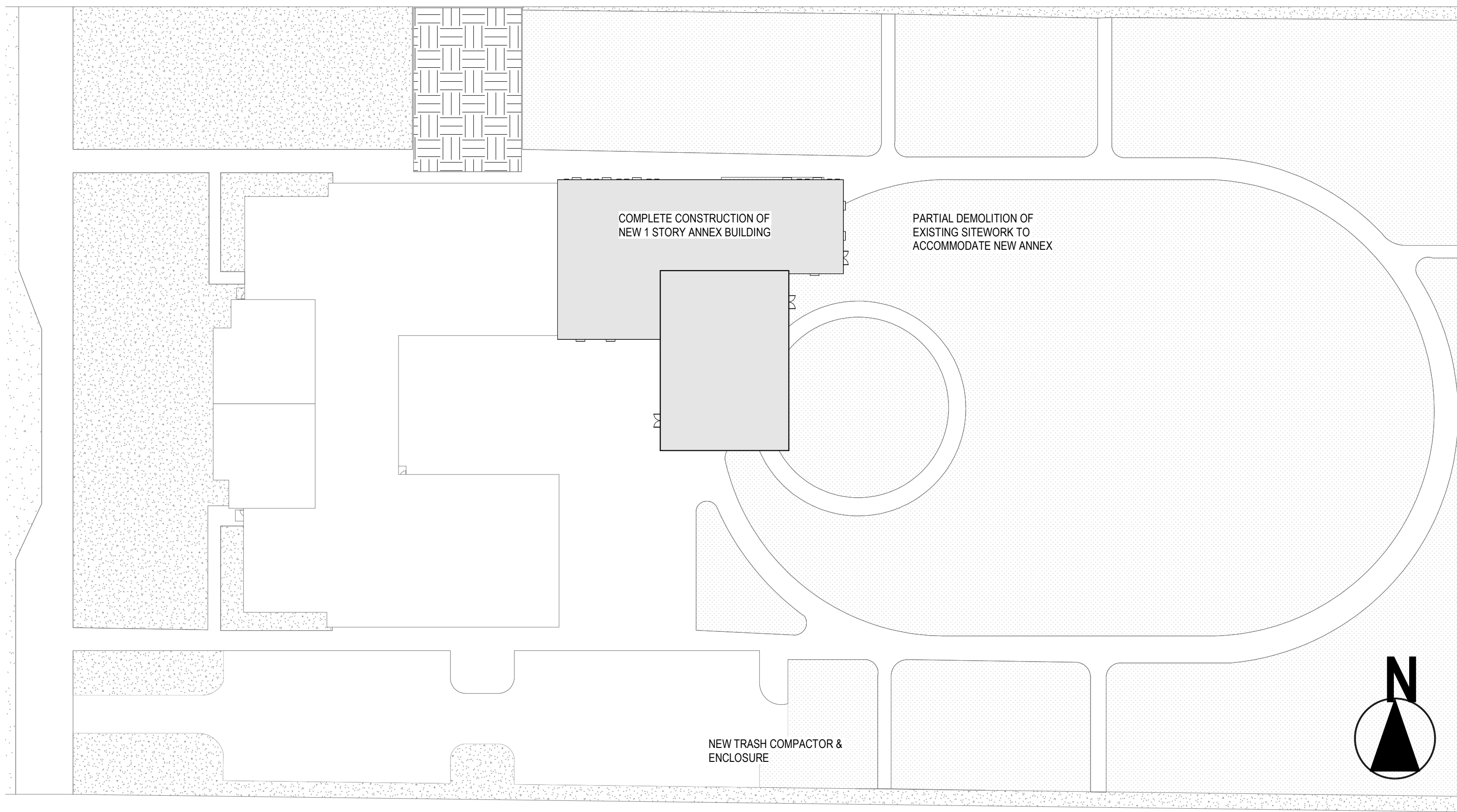
PHASING LEGEND

- AREA NOT IN CONTRACT (NIC)  
ALL ADJACENT AREAS WILL BE OCCUPIED
- AREAS IN OCCUPANCY DURING CONSTRUCTION
- PHASE 2
- PHASE 3
- DIVIDER BETWEEN PHASES OF WORK
- STAGING/GATED & FENCED CONSTRUCTION AREA
- MAINTAIN CORRIDOR ACCESS FOR STUDENTS AND STAFF DURING CONSTRUCTION
- TEMPORARY DUST PARTITION WITH TEMP DOOR

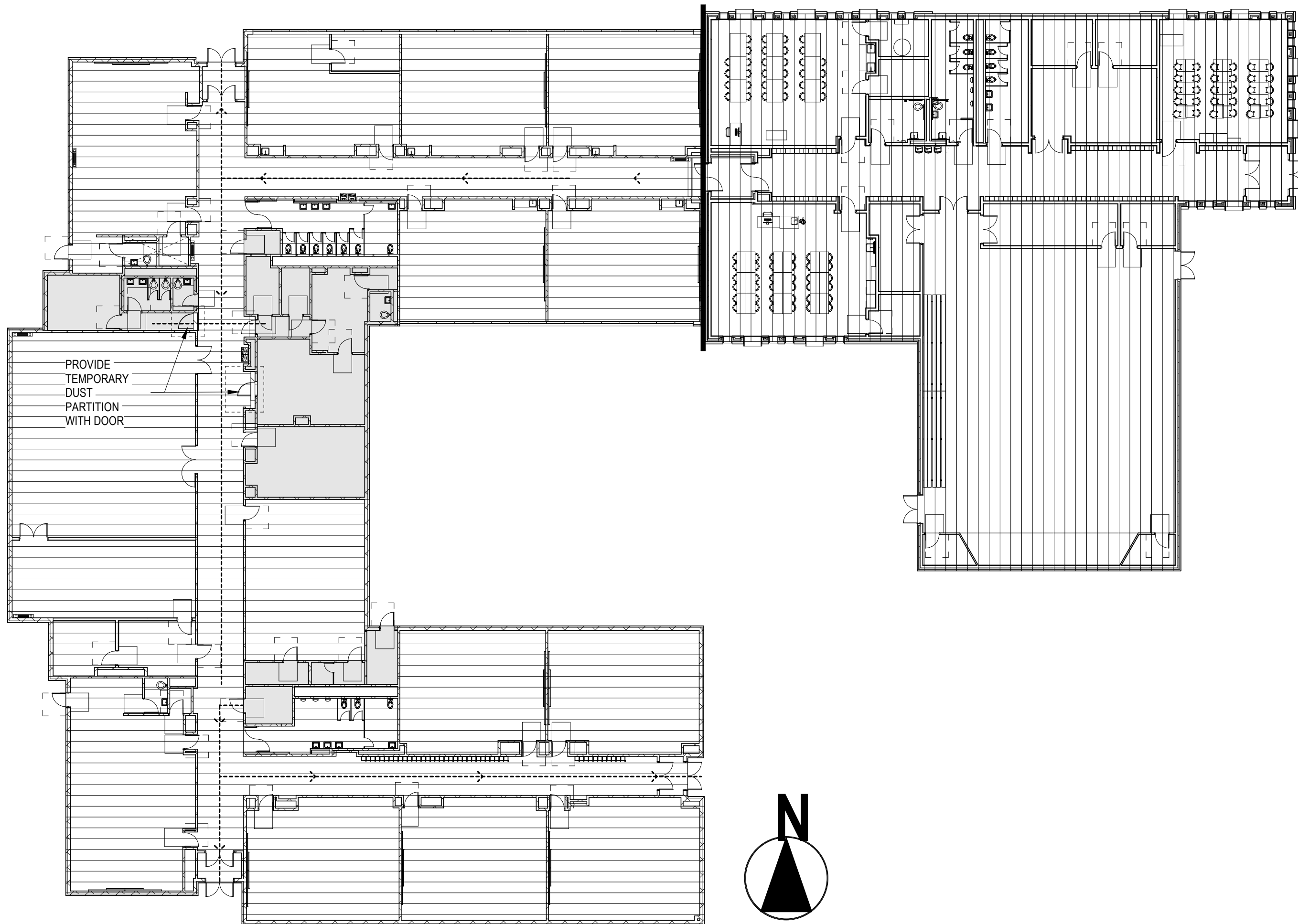
\*FOR CLARIFICATION ON SCOPE OF WORK REFERENCE FLOOR PLAN AND DEMOLITION PLAN



1 PHASE 1: UTILITY RELOCATION  
1" = 40'-0"



2 PHASE 2: ANNEX CONSTRUCTION  
1" = 40'-0"



3A PHASE 3A: EXISTING BUILDING INTERIOR RENOVATION  
1" = 20'-0"



3B PHASE 3B: SITE DEVELOPMENT  
1" = 40'-0"



MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS

8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

Design Architect:  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

David Mason + Associates  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering

Gasperec Elberts  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering

Site Design Group  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture

MEPIS, Inc.  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPP Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

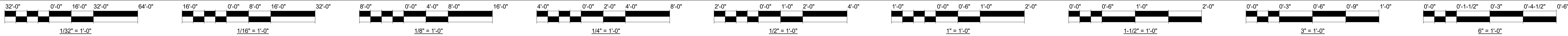
PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title

PHASING PLAN

Sheet

G-401





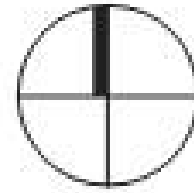
888 south michigan avenue  
suite 1000 chicago, illinois 60605  
tel 312.427.7240 fax 312.427.7241  
www.site-design.com

PBC CPS MCDADE SCHOOL, CHICAGO, ILLINOIS  
Schematic Design, Project Number: 8439  
November 1, 2018



- LEGEND:**
- 1 Courtyard with Shade Tolerant Planting
  - 2 Ornamental Fence + Gate (Optional)
  - 3 Asphalt with Game Striping
  - 4 Bike Racks
  - 5 Ornamental Landscaping
  - 6 Play Equipment with Rubber Surfacing
  - 7 Sod Mound
  - 8 Plaza with Seatwalls

1 SITE PLAN ALTERNATE- OPTION 1  
NTS



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**  
8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPP Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

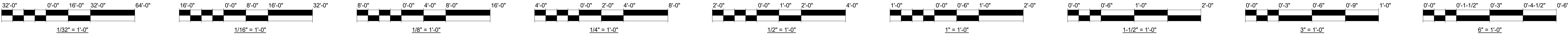
Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title

**SITE PLAN**

Sheet  
**L-101**





888 south michigan avenue  
suite 1000 chicago, illinois 60605  
tel 312.427.7240 fax 312.427.7241  
www.site-design.com

**PBC CPS MCDADE SCHOOL, CHICAGO, ILLINOIS**  
Schematic Design, Project Number: 8439  
November 1, 2018

**SHADEY COURTYARD PRECEDENTS**



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**  
8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
  
**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPF Engineering

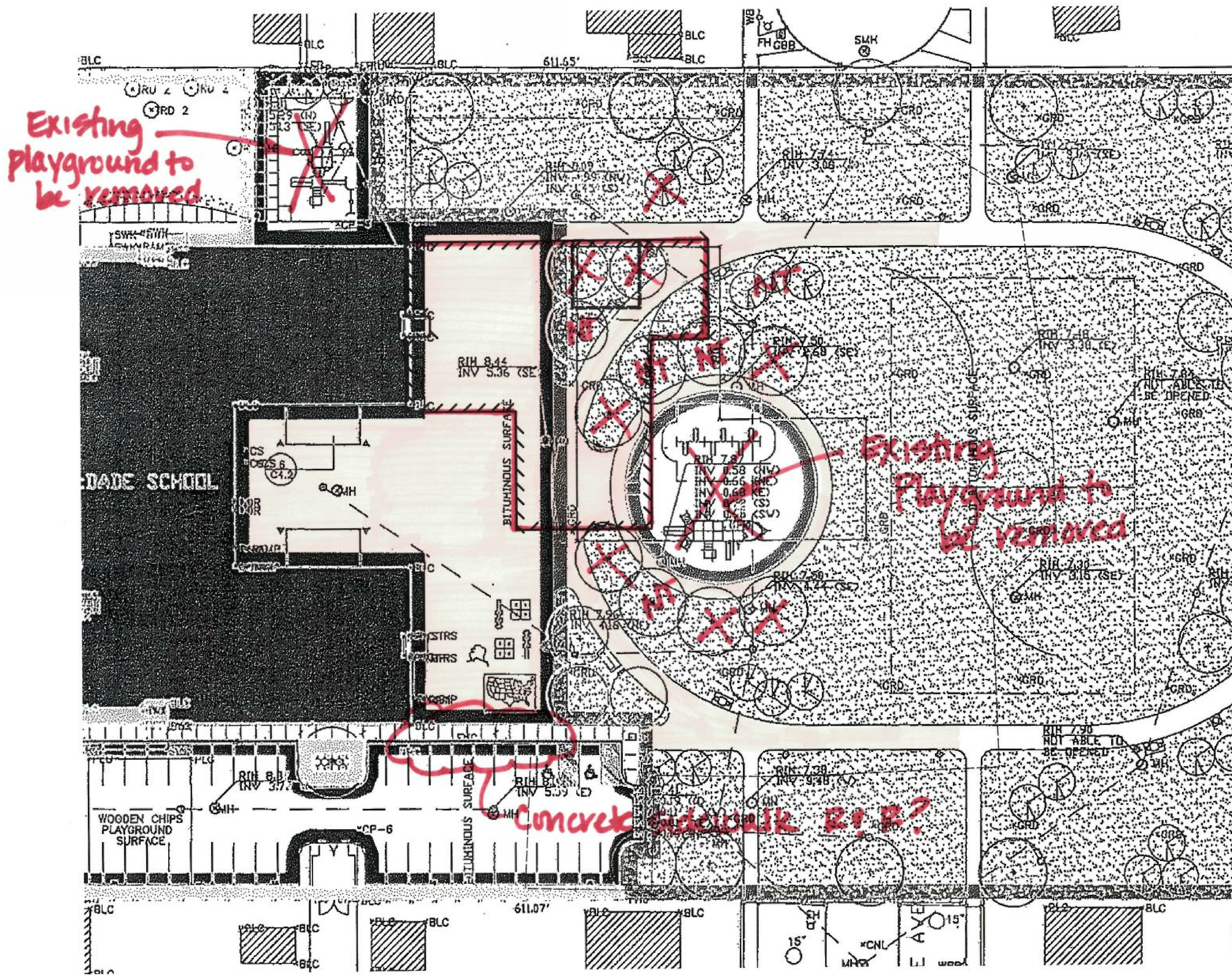
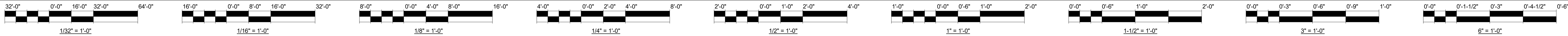
WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**SHADEY COURTYARD  
PRECEDENTS**

Sheet





Asphalt Removal

X - Tree to be removed  
NT - Trees do not exist

McDade Elementary  
Demolition Plan  
11-2-18



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**  
8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

Design Architect:  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

David Mason + Associates  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering

Gasperc Elberts  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering

Site Design Group  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture

MEPIS, Inc.  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPP Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

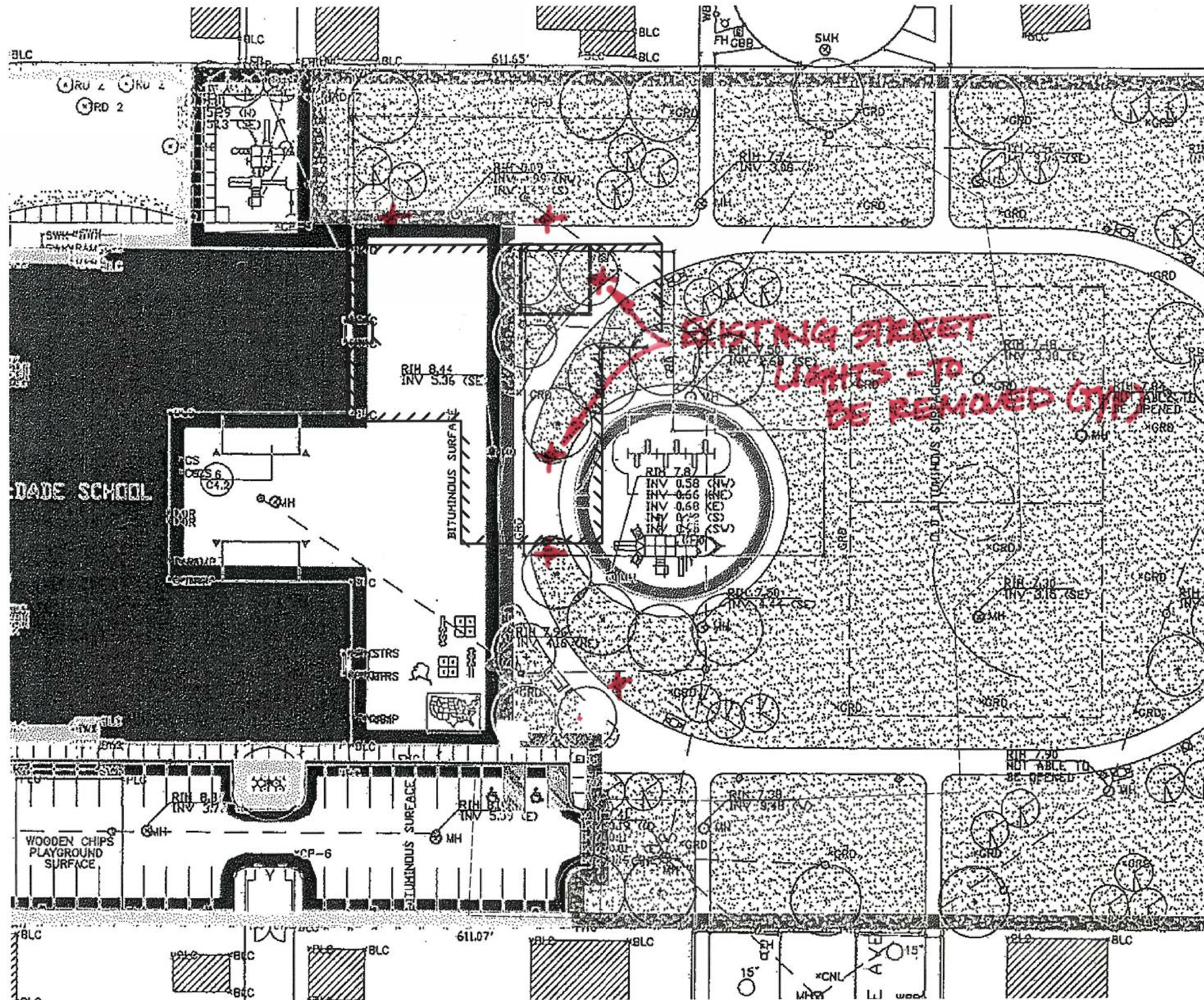
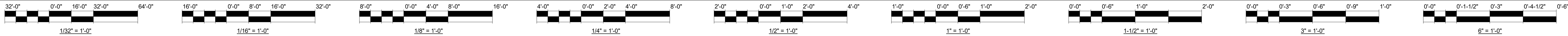
PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**SITE DEMOLITION  
PLAN**

Sheet  
**C-001**









McDade  
Elementary  
Street Light  
removal Plan  
11-2-18



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**  
8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

Design Architect:  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

David Mason + Associates  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering

Gasperc Elberts  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering

Site Design Group  
888 S. Michigan Ave., #1000  
Chicago, IL  
Landscape Architecture

MEPIS, Inc.  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPP Engineering

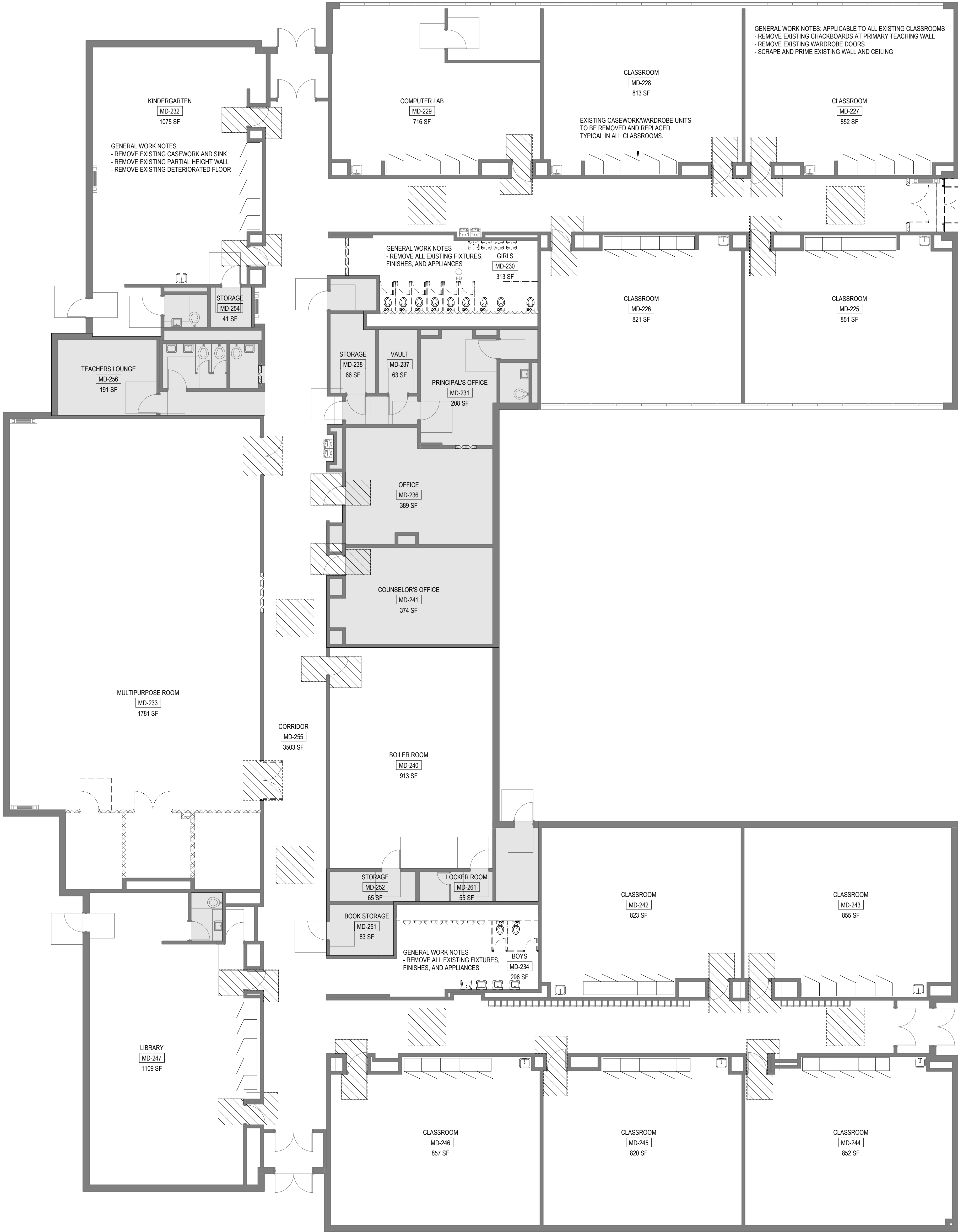
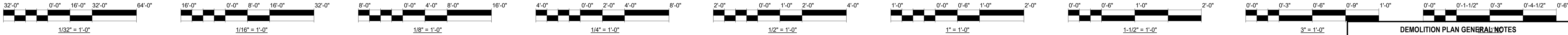
WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**STREET LIGHT  
REMOVAL PLAN**

Sheet  
**C-102**





- DEMOLITION PLAN GENERAL NOTES**
1. REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.
  2. EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.
  3. IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM.
  4. ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTDOWNS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.
  5. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
  6. REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
  7. ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.
  8. THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
  9. DO NOT COMMENCE DEMOLITION UNTIL OWNER HAS REMOVED ALL ARTWORK AND DISPLAYS FROM AREAS OF DEMOLITION.
  10. COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.
  11. AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
  12. AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
  13. PATCH ALL CEILINGS, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILINGS, WALLS OR FLOORS TO REMAIN.
  14. ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS; PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO REMAIN TO PROVIDE A SMOOTH SURFACE/EDGE FOR THE APPLICATION OF NEW FINISH MATERIAL.
  15. WHEN REMOVING EXISTING WALL, TILE, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ADJUTS TILE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.
  16. AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REMAIN, AND FILL ALL CRACKS AND SPALLED AREAS IN PREPARATION FOR NEW FLOORING MATERIALS. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.
  17. AT IDENTIFIED AREAS OF SPALLED, UNEVEN AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRIND CONCRETE TO ACHIEVE A LEVEL SURFACE AND FILL CRACKS AND SPALLED AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.
  18. CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.
  19. WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. REROUTE CONCEALED MEPPF WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS; REMOVE ABANDONED MEPPF SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
  20. CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS.
  21. GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.
  22. IN THE EVENT HAZARDOUS MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND THE APPROPRIATE AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL / ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL / ABATEMENT AT LOCATIONS NECESSARY.
  23. REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THOSE DISCIPLINES.
  24. STRUCTURAL ITEMS SHOWN AS 'TO BE REMOVED' ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.

DEMOLITION NOTES	
NOTE	DESCRIPTION
03.01	DEMOLITION NOTE EXAMPLE

DEMOLITION LEGEND	
	DEMOLITION TAG
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	LIMITS OF DEMOLITION WORK - SEE MEPPF DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS
	EXISTING DOORS TO REMAIN
	EXISTING DOORS TO BE DEMOLISHED
	DAMAGED VCT TILE TO BE REMOVED AND REPLACED
	NOT IN SCOPE



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**

8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619

CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN

ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering

**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering

**Site Design Group**  
888 S. Michigan Ave., #1000  
Chicago, IL  
Landscape Architecture

**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPF Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN THE SCHOOL FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS-CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS

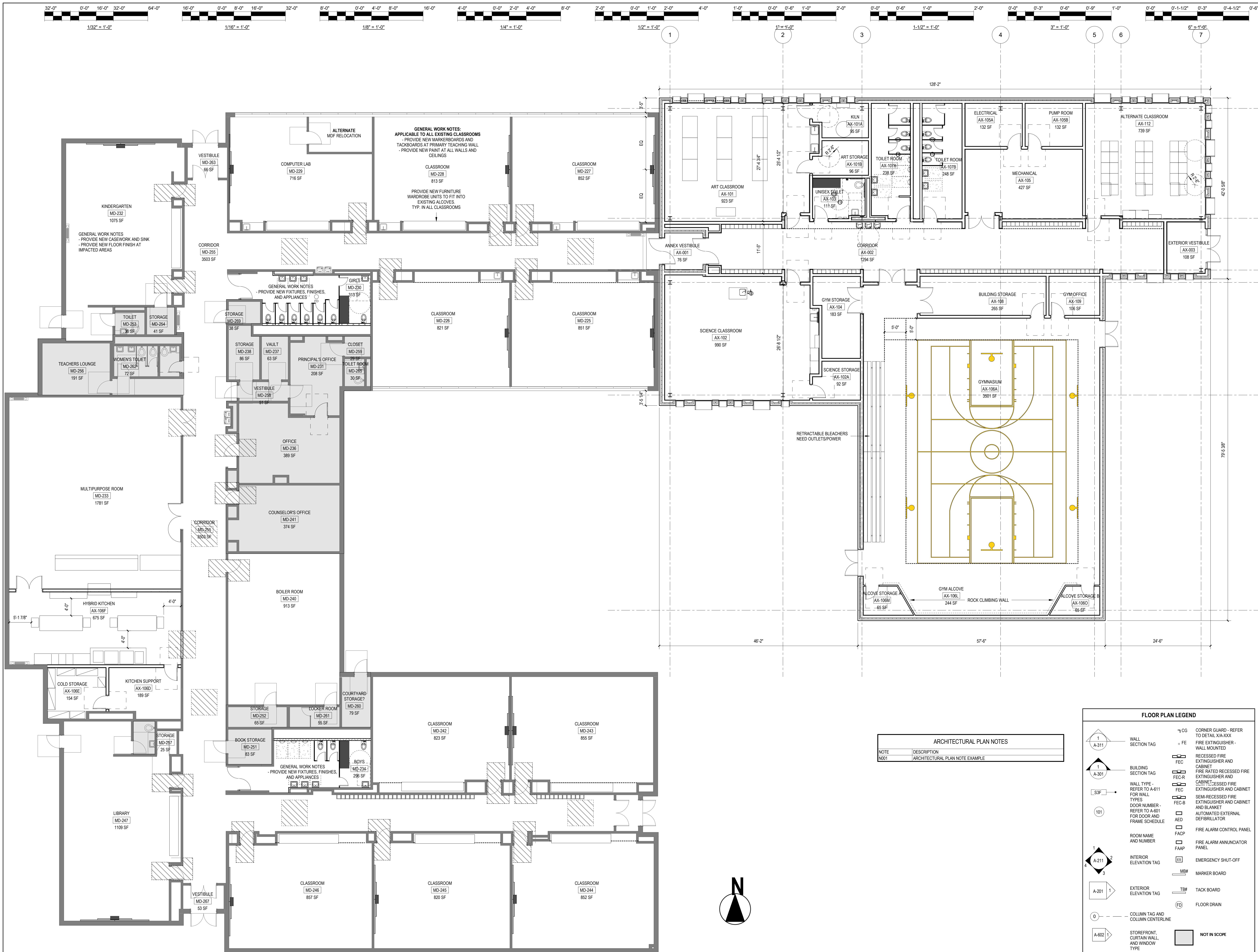
PBC Contract No: 05295

Project No: 2180000

Title

**FIRST FLOOR  
DEMOLITION PLAN**





# MCDade CLASSICAL SCHOOL ANNEX ADD'N & RENOVATIONS

8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

Design Architect:  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

David Mason + Associates  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering

Gasperc Elberts  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering

Site Design Group  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture

MEPIS, Inc.  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPP Engineering

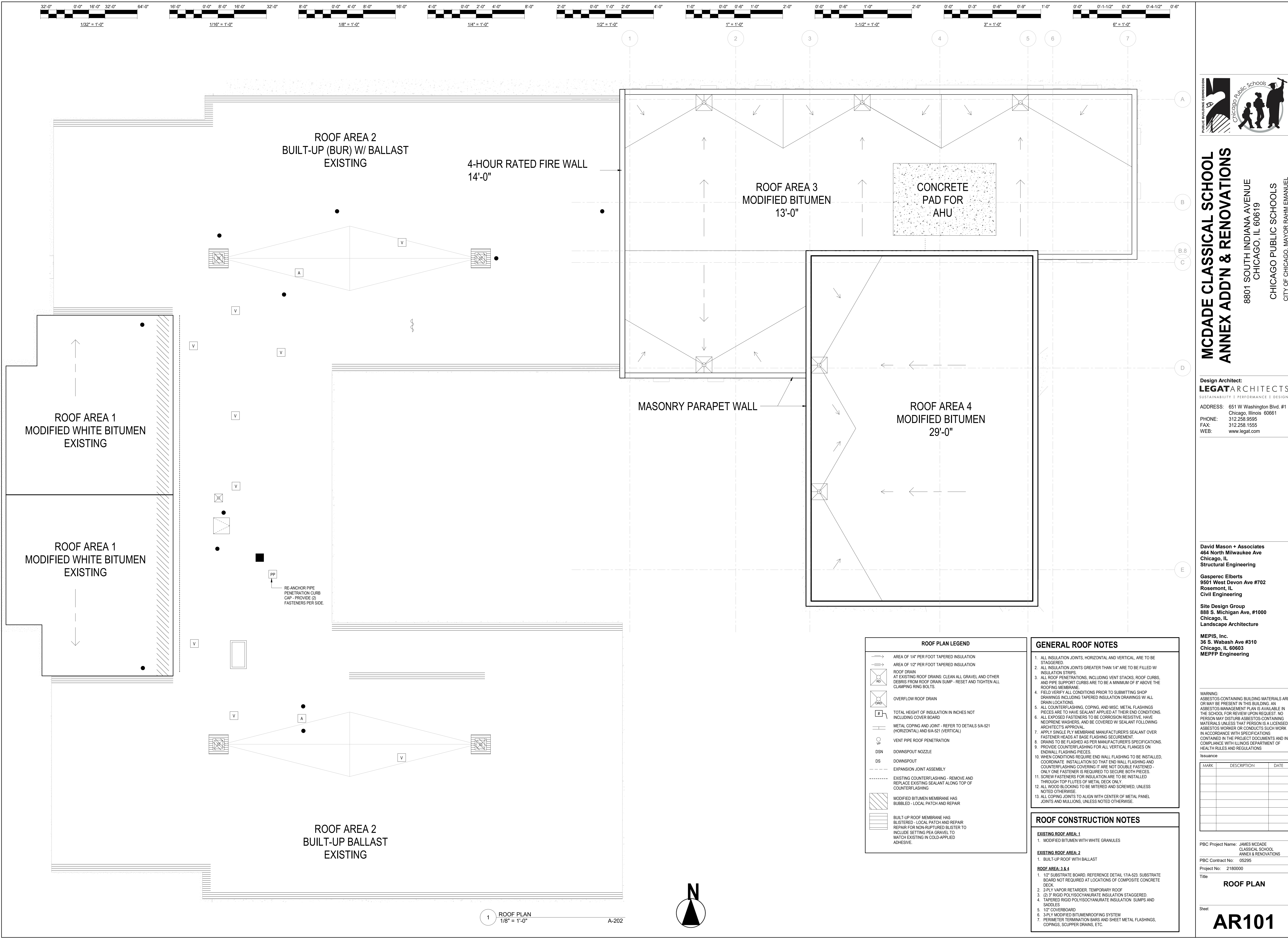
WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDade  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**FIRST FLOOR PLAN**

Sheet  
**A-101**





**MCDade Classical School  
ANNEX ADD'N & RENOVATIONS**

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPP Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDade  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title

**ROOF PLAN**

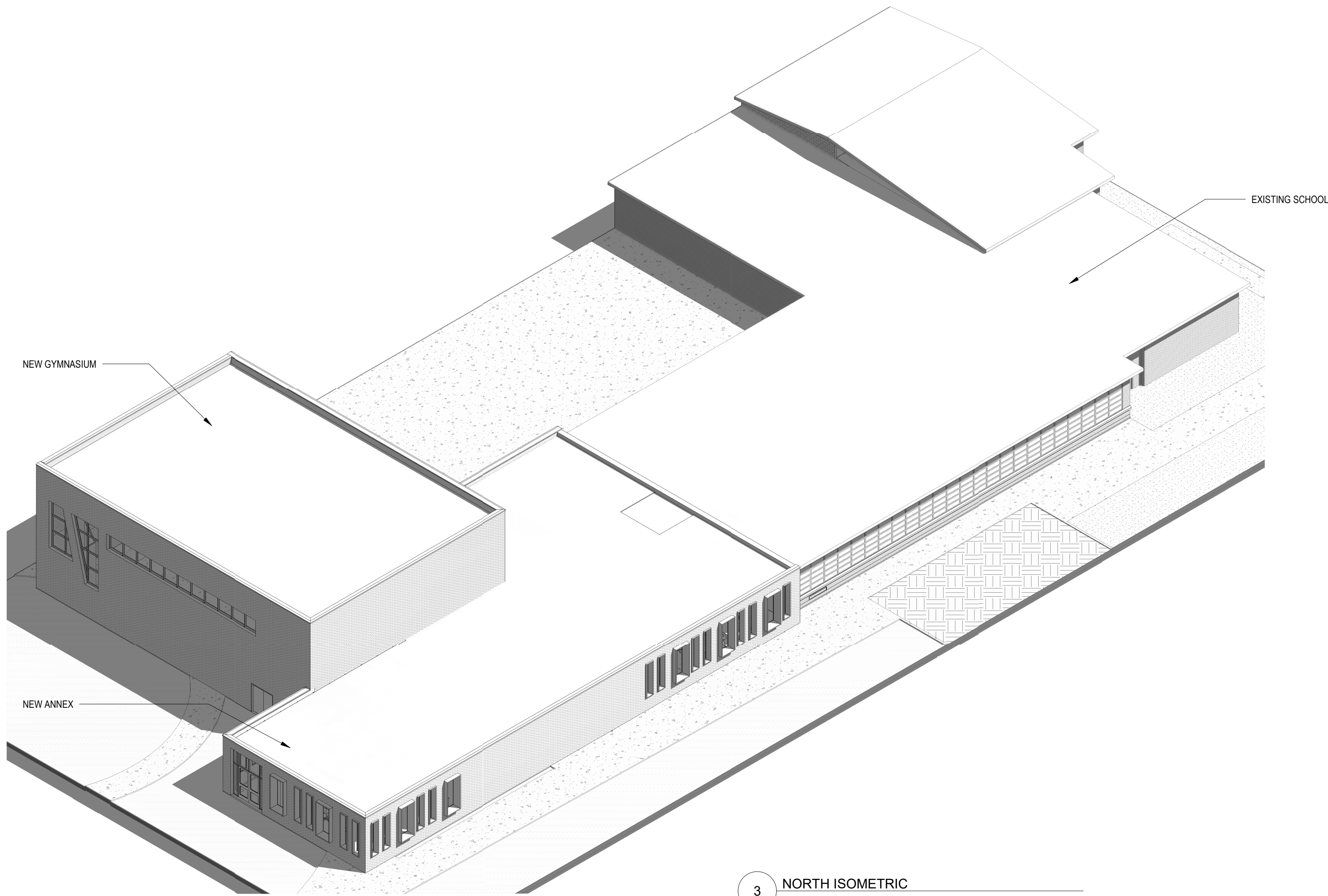
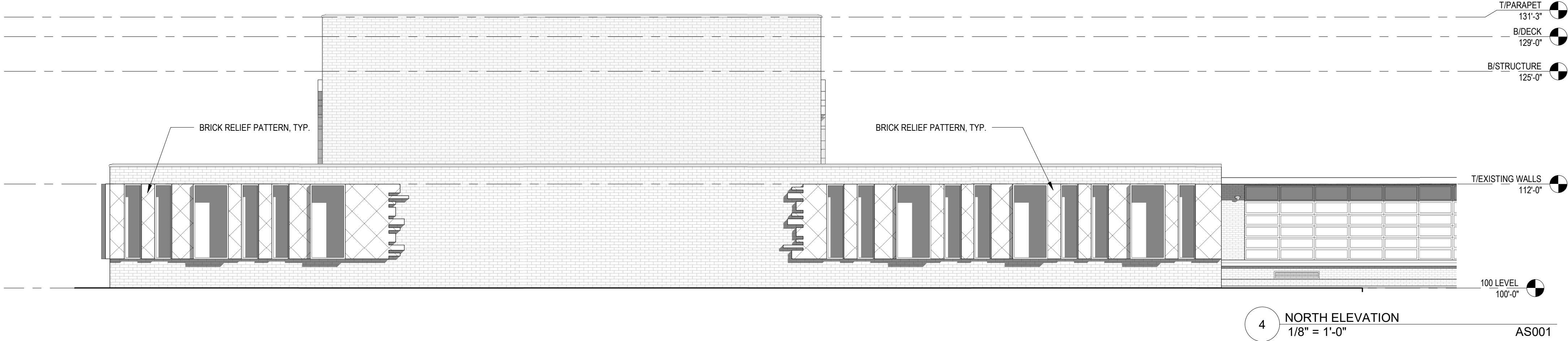
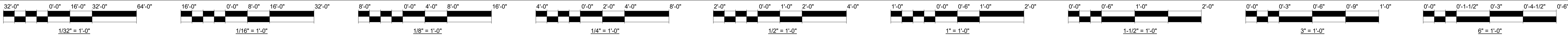
Sheet  
**AR101**

ROOF PLAN LEGEND	
	AREA OF 1/4" PER FOOT TAPERED INSULATION
	AREA OF 1/2" PER FOOT TAPERED INSULATION
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
	METAL COPING AND JOINT - REFER TO DETAILS SIA-521 (HORIZONTAL) AND 6/A-521 (VERTICAL)
	VENT PIPE ROOF PENETRATION
	DOWNSPOUT NOZZLE
	DOWNSPOUT
	EXPANSION JOINT ASSEMBLY
	EXISTING COUNTERFLASHING - REMOVE AND REPLACE EXISTING SEALANT ALONG TOP OF COUNTERFLASHING
	MODIFIED BITUMEN MEMBRANE HAS BUBBLED - LOCAL PATCH AND REPAIR
	BUILT-UP ROOF MEMBRANE HAS BUSTLED - LOCAL PATCH AND REPAIR. REPAIR FOR NON-RUPTURED BUSTLER TO INCLUDE SETTING PEA GRAVEL TO MATCH EXISTING IN COLD-APPLIED ADHESIVE.

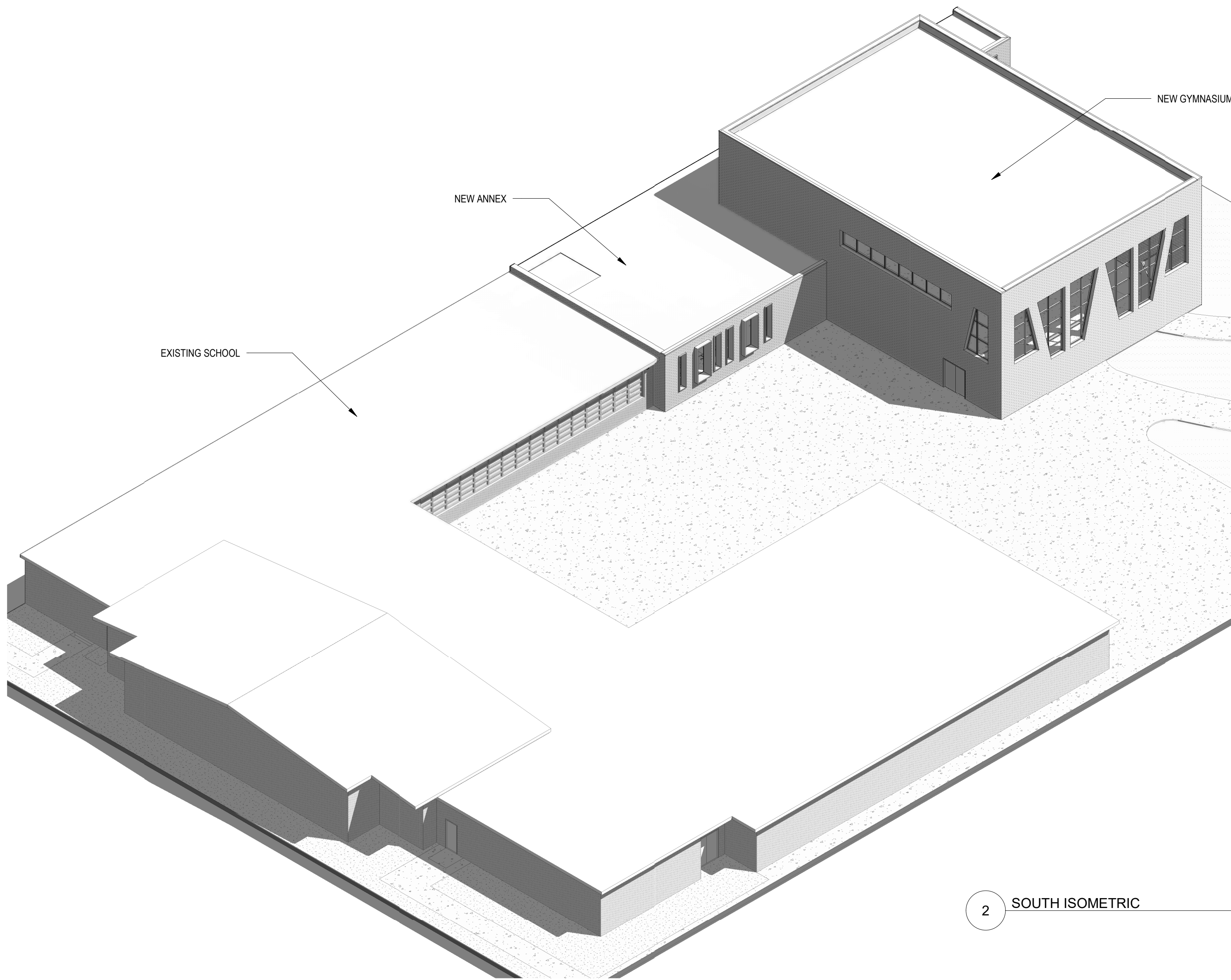
- GENERAL ROOF NOTES**
- ALL INSULATION JOINTS, HORIZONTAL AND VERTICAL, ARE TO BE STAGGERED.
  - ALL INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED W/ INSULATION STRIPS.
  - ALL ROOF PENETRATIONS, INCLUDING VENT STACKS, ROOF CURBS, AND PIPE SUPPORT CURBS ARE TO BE A MINIMUM OF 8" ABOVE THE ROOFING MEMBRANE.
  - FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS INCLUDING TAPERED INSULATION DRAWINGS W/ ALL DRAIN LOCATIONS.
  - ALL COUNTERFLASHING, COPING, AND MISC. METAL FLASHINGS PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
  - ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED W/ SEALANT FOLLOWING ARCHITECT'S APPROVAL.
  - APPLY SINGLE PLY MEMBRANE MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
  - DRAINS TO BE FLASHED AS PER MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE COUNTERFLASHING FOR ALL VERTICAL FLANGES ON ENDWALL FLASHING PIECES.
  - WHEN CONDITIONS REQUIRE END WALL FLASHING TO BE INSTALLED, COORDINATE. INSTALLATION SO THAT END WALL FLASHING AND COUNTERFLASHING COVERING IT ARE NOT DOUBLE FASTENED - ONLY ONE FASTENER IS REQUIRED TO SECURE BOTH PIECES.
  - SCREW FASTENERS FOR INSULATION ARE TO BE INSTALLED THROUGH TOP FLUTES OF METAL DECK ONLY.
  - ALL WOOD BLOCKING TO BE MITERED AND SCREWED, UNLESS NOTED OTHERWISE.
  - ALL COPING JOINTS TO ALIGN WITH CENTER OF METAL PANEL JOINTS AND MULLIONS, UNLESS NOTED OTHERWISE.

- ROOF CONSTRUCTION NOTES**
- EXISTING ROOF AREA: 1**
- MODIFIED BITUMEN WITH WHITE GRANULES
- EXISTING ROOF AREA: 2**
- BUILT-UP ROOF WITH BALLAST
- ROOF AREA: 3 & 4**
- 1/2" SUBSTRATE BOARD, REFERENCE DETAIL 17/A-523. SUBSTRATE BOARD NOT REQUIRED AT LOCATIONS OF COMPOSITE CONCRETE DECK.
  - 2-PLY VAPOR RETARDER, TEMPORARY ROOF
  - (2) 3" RIGID POLYISOCYANURATE INSULATION STAGGERED.
  - TAPERED RIGID POLYISOCYANURATE INSULATION SUMPS AND SADDLES
  - 1/2" COVERBOARD
  - 3-PLY MODIFIED BITUMEN ROOFING SYSTEM
  - PERIMETER TERMINATION BARS AND SHEET METAL FLASHINGS, COPINGS, SCUPPER DRAINS, ETC.

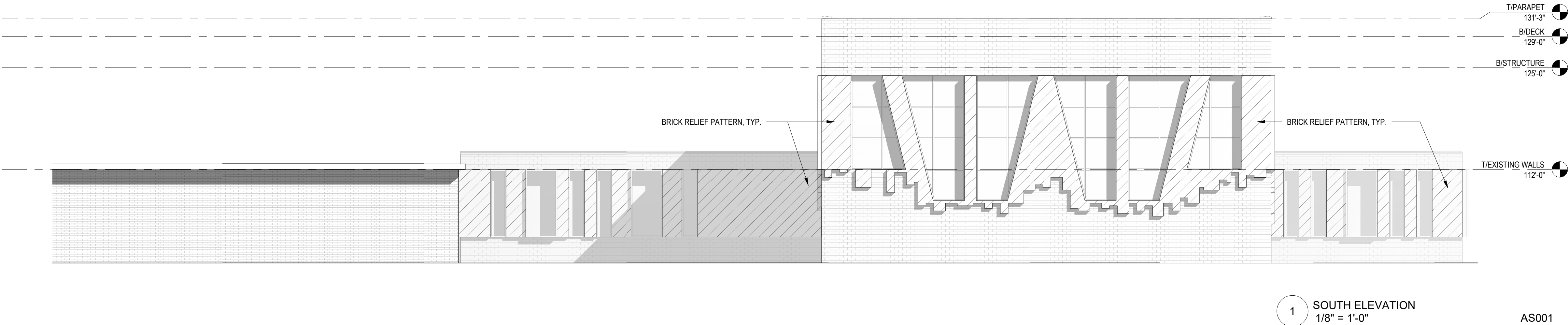




3 NORTH ISOMETRIC



2 SOUTH ISOMETRIC



**MCDADE CLASSICAL SCHOOL  
ANNEX ADD'N & RENOVATIONS**

8801 SOUTH INDIANA AVENUE  
CHICAGO, IL 60619  
CHICAGO PUBLIC SCHOOLS  
CITY OF CHICAGO, MAYOR RAHM EMANUEL

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPF Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

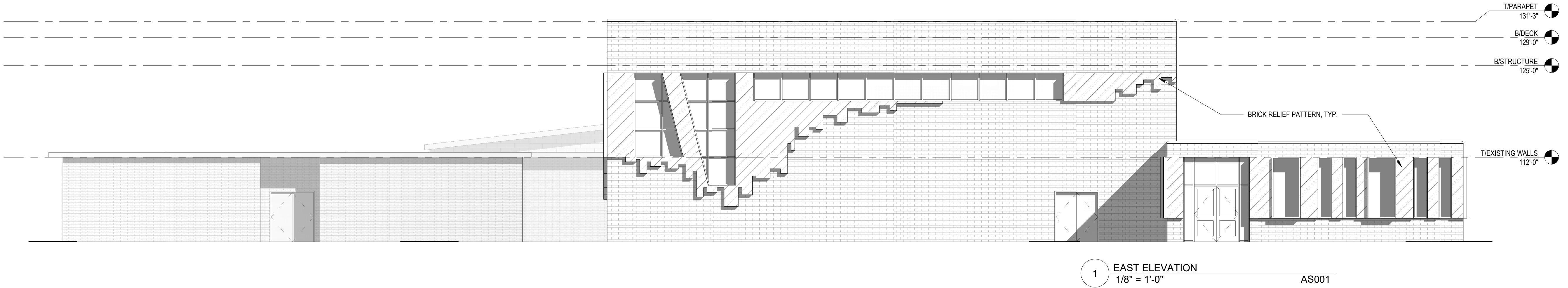
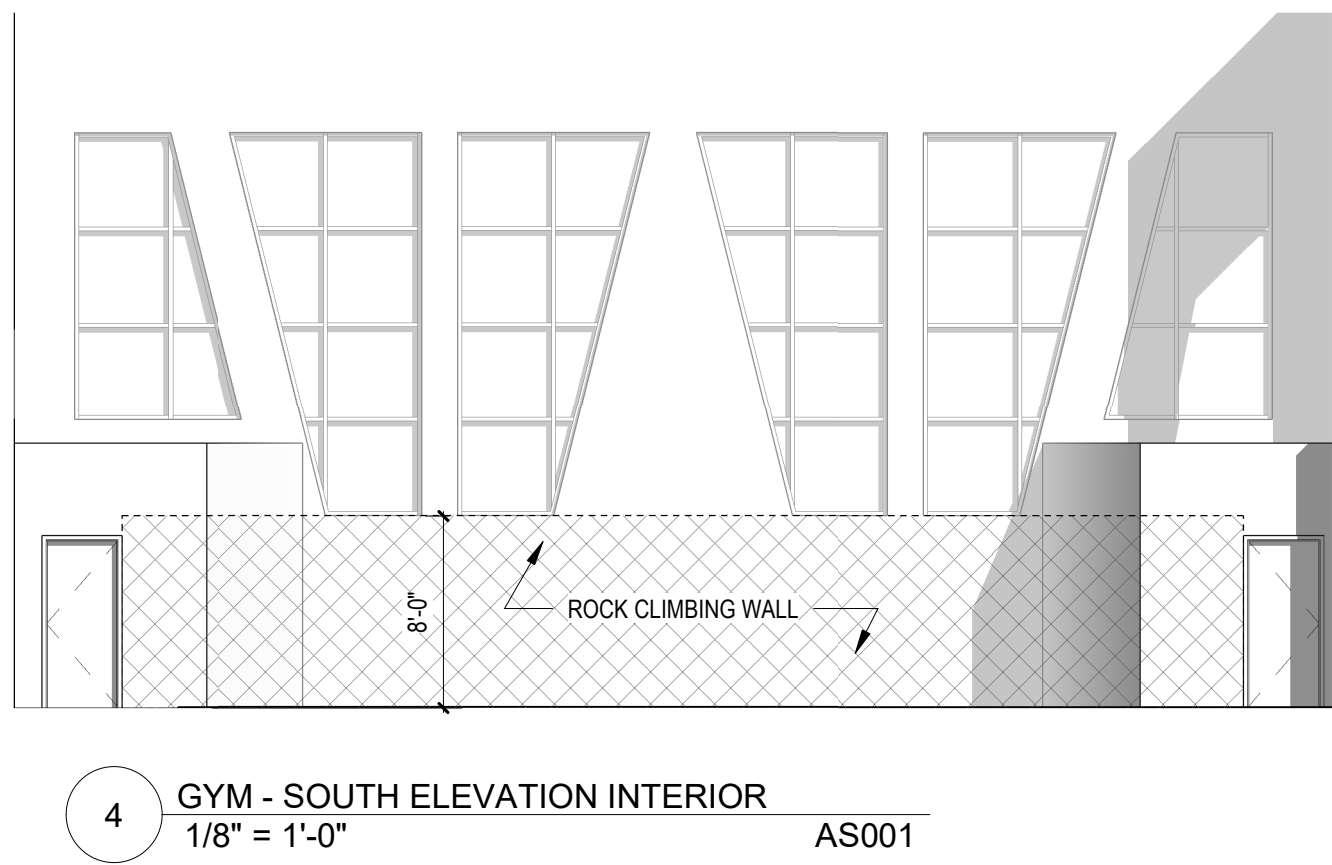
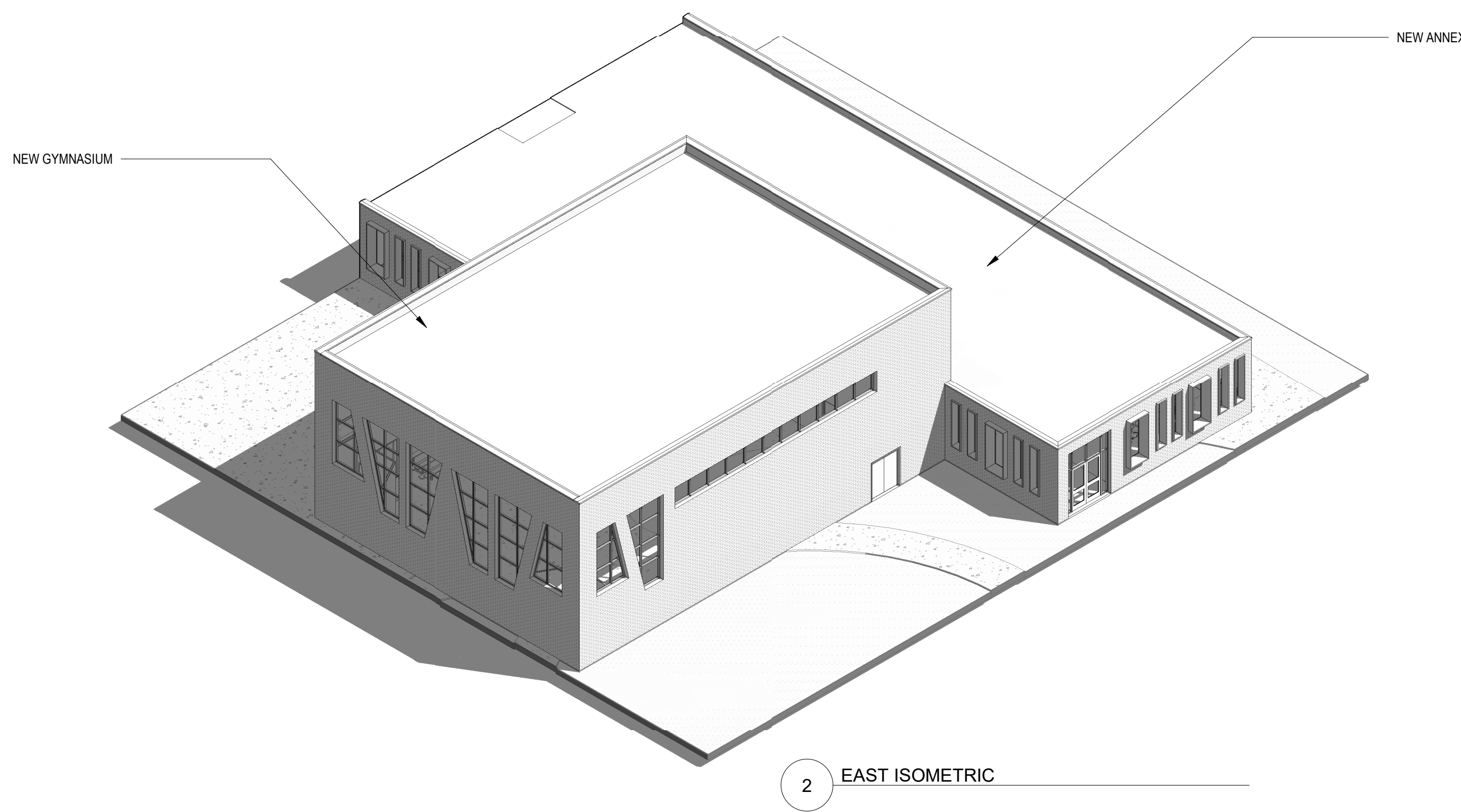
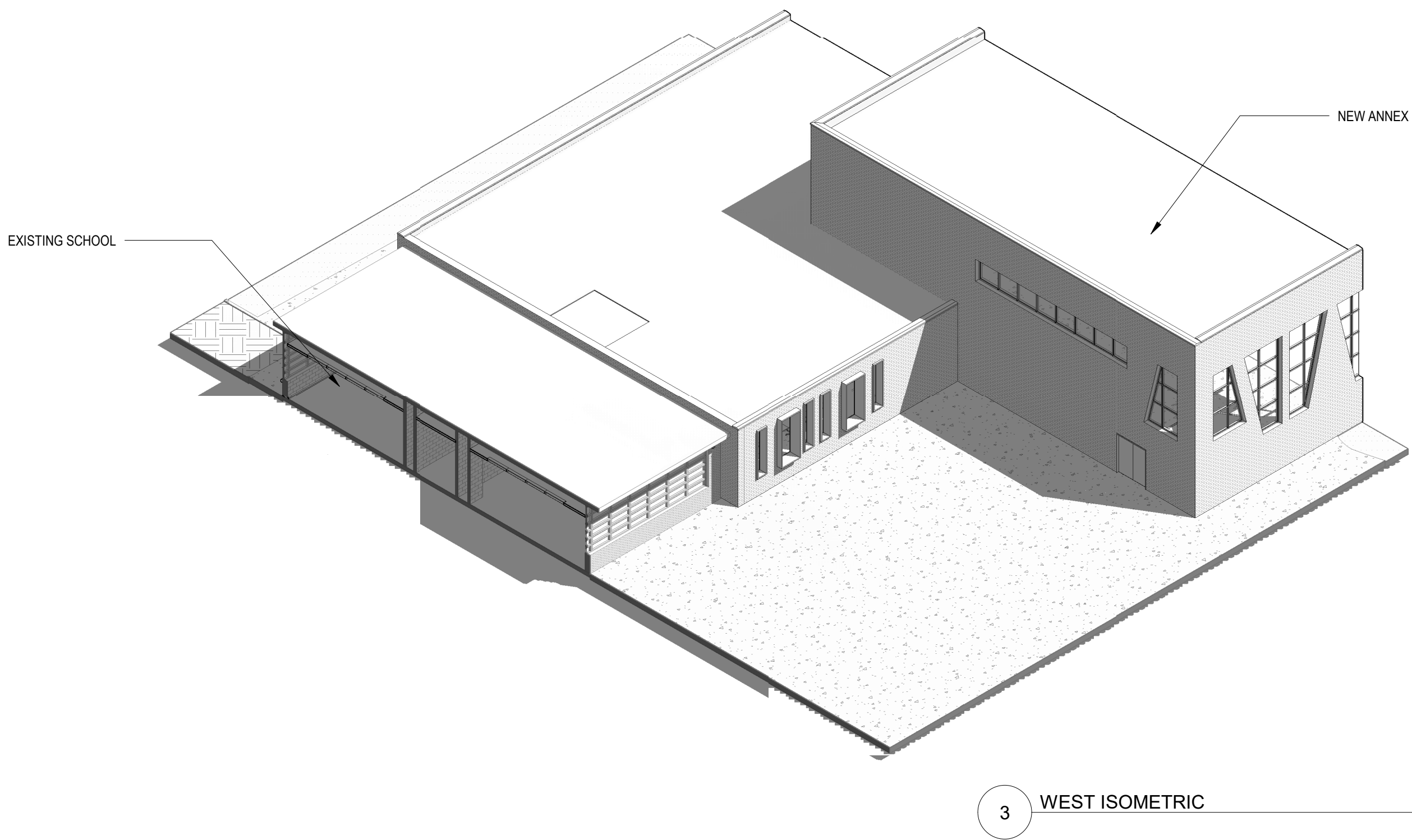
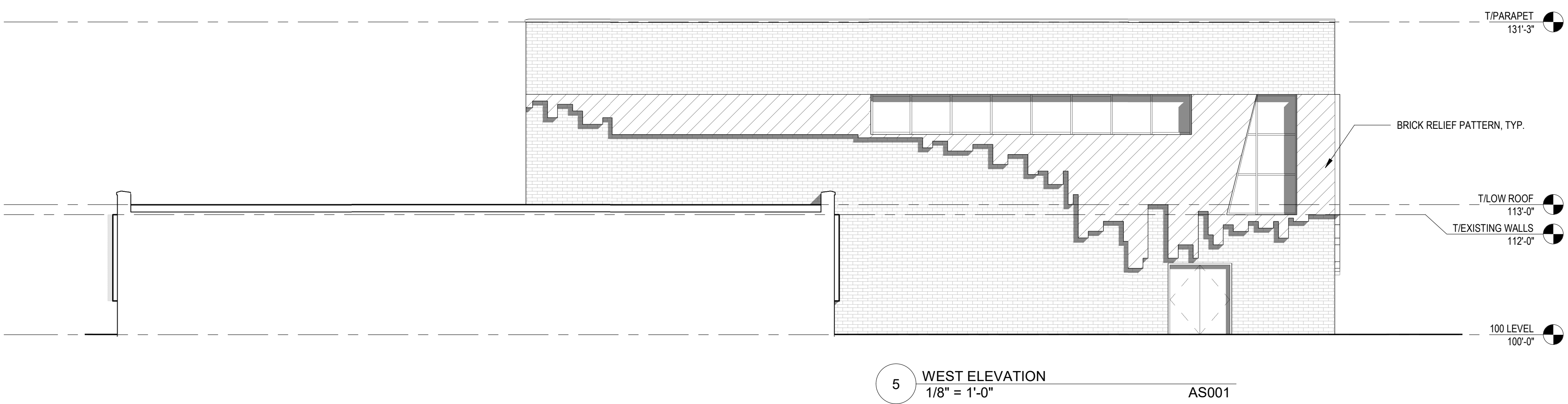
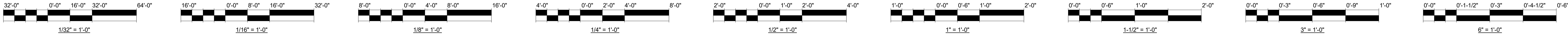
Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**EXTERIOR BUILDING  
ELEVATIONS**

Sheet

**A-201**





# MCDADDE CLASSICAL SCHOOL ANNEX ADD'N & RENOVATIONS

**Design Architect:**  
**LEGATARCHITECTS**  
SUSTAINABILITY | PERFORMANCE | DESIGN  
ADDRESS: 651 W Washington Blvd. #1  
Chicago, Illinois 60661  
PHONE: 312.258.9595  
FAX: 312.258.1555  
WEB: www.legat.com

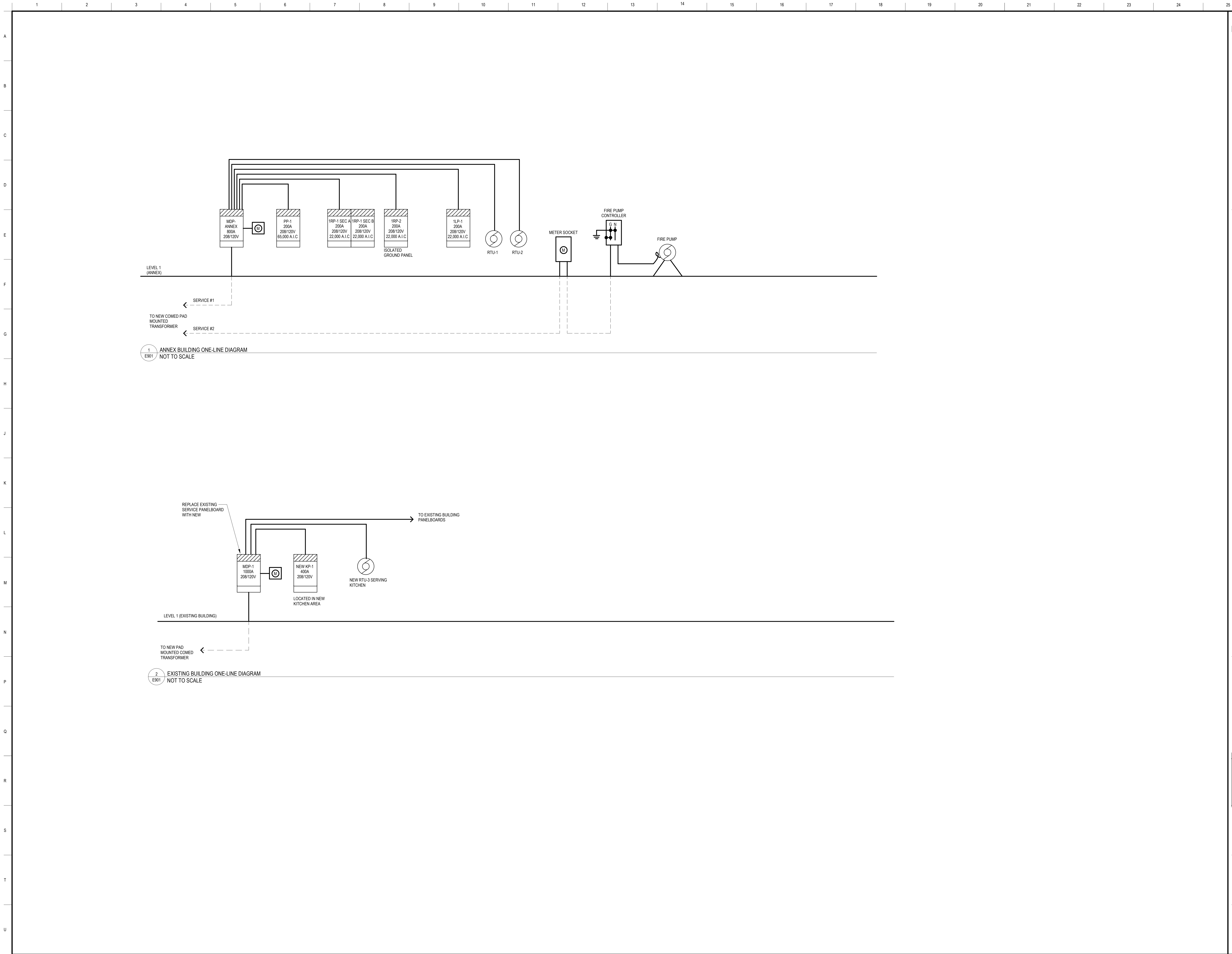
**David Mason + Associates**  
464 North Milwaukee Ave  
Chicago, IL  
Structural Engineering  
**Gasperec Elberts**  
9501 West Devon Ave #702  
Rosemont, IL  
Civil Engineering  
**Site Design Group**  
888 S. Michigan Ave, #1000  
Chicago, IL  
Landscape Architecture  
**MEPIS, Inc.**  
36 S. Wabash Ave #310  
Chicago, IL 60603  
MEPPF Engineering

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE  
OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS-MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS

Issuance		
MARK	DESCRIPTION	DATE

PBC Project Name: JAMES MCDADDE  
CLASSICAL SCHOOL  
ANNEX & RENOVATIONS  
PBC Contract No: 05295  
Project No: 2180000  
Title  
**EXTERIOR BUILDING  
ELEVATIONS**





1 ANNEX BUILDING ONE-LINE DIAGRAM  
E901 / NOT TO SCALE

2 EXISTING BUILDING ONE-LINE DIAGRAM  
E901 / NOT TO SCALE

LEGAT ARCHITECTS  
DESIGN | PERFORMANCE | SUSTAINABILITY

PBC / CPS

MCDADE ES  
ANNEX AND  
RENOVATIONS

1234 Main Street  
City, State Zip

ARCHITE  
Legat Architects  
Studio Address Line 1  
Studio Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.legat.com

CIVIL ENGINEER / LANDSCAPE  
ARCHITECT  
Civil Engineer Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com

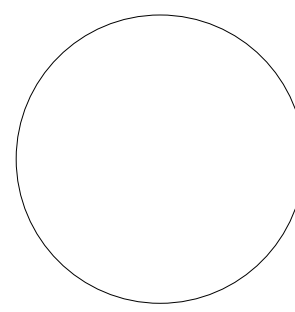
STRUCTURAL ENGINEER  
Structural Engineer Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com

MEP/FP ENGINEER  
MEP/FP Engineer Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com

ENGINEER.4  
Engineer 4 Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com

ENGINEER.5  
Engineer 5 Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com

ENGINEER.6  
Engineer 6 Name  
Address Line 1  
Address Line 2  
P: xxx.xxx.xxx  
F: xxx.xxx.xxx  
www.-.com



SIGNATU  
DAT

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT 210000.00  
DATE OF ISSUE 08.23.18  
DRAWN BY Author  
CHECKED BY Checker

ELECTRICAL DIAGRAMS

E901  
CONCEPTUAL DESIGN



MCDAD E S  
ANNEX AND  
RENOVATIONS

1234 Main Street  
City, State Zip

ARCHITECT  
Legat Architects  
Studio Address Line 1  
Studio Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

CIVIL ENGINEER / LANDSCAPE ARCHITECT  
Civil Engineer Name

Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

STRUCTURAL ENGINEER  
Structural Engineer Name

Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

MEP/FP ENGINEER  
MEP/FP Engineer Name

Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

ENGINEER 4  
Engineer 4 Name

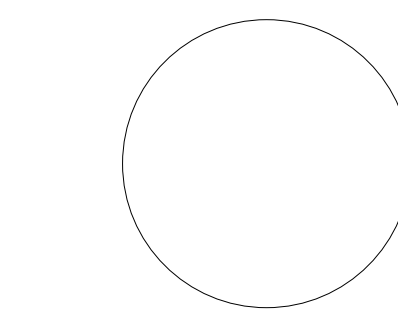
Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

ENGINEER 5  
Engineer 5 Name

Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com

ENGINEER 6  
Engineer 6 Name

Address Line 1  
Address Line 2  
P: xxxxxxxx  
F: xxxxxxxx  
www.legat.com



SIGNATURE  
DATE

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT 210000.00  
DATE OF ISSUE 08.23.18  
DRAWN BY Author  
CHECKED BY Checker

SITE PLAN

ES101  
CONCEPTUAL DESIGN

