

# JUVENILE DETENTION CENTER

3900 S. CALIFORNIA AVE.  
CHICAGO, ILLINOIS 60632  
PBC PROJECT NUMBER

ISSUE SD  
12.10.2021



PUBLIC BUILDING COMMISSION OF CHICAGO

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VISUALIZATION /  
RENDERING

VISUALIZATION /  
RENDERING



JUVENILE DETENTION  
CENTER

3900 S. CALIFORNIA AVE.  
CHICAGO, IL 60632

ASSETS, INFORMATION AND SERVICES  
CITY OF CHICAGO, COMMISSIONER DAVID REYNOLDS

Architect / Engineer of Record:  
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THE HOH GROUP, INC.  
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NAME  
Chicago, IL  
Food Service Consultant

Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438  
Title

SHEET COVER

Sheet

A-000



# JUVENILE DETENTION CENTER, RENOVATION

## GENERAL NOTES

1. WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTORS SHALL PROVIDE AND INSTALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE DESIGN BUILDER PRIOR TO PROCEEDING WITH AFFECTED WORK.
4. FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE CODES WHERE APPLICABLE. THIS INCLUDES FIRE DAMPERS OR FIRE DOORS PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE-RATED SURFACES. PENETRATIONS OF RATED FIRE-RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
5. PENETRATIONS THROUGH SURFACES SHALL BE SEALED WITH SEALANT MATERIAL PER SPECIFICATIONS FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS WHERE APPLICABLE.
6. DESIGN BUILDER SOLELY RESPONSIBLE FOR COORDINATION AMONG VARIOUS SUBCONTRACTORS.
7. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING FROM THE DESIGN BUILDER.
8. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
9. KEEP PIPING AS CLOSE TO WALLS AS POSSIBLE UNLESS NOTED OTHERWISE.
10. NO CONTRACTORS SHALL CLOSE OR OBSTRUCT STREETS, DOCKS, ALLEYS OR WALKS. NO MATERIALS ARE TO BE PLACED OR STORED IN STREETS, ALLEYS, OR WALKS. DEBRIS TO BE REMOVED COMPLETELY FROM PREMISES.
11. CONTRACTORS SHALL PROVIDE AND ARE SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTIONS AS NECESSARY AND IS REQUIRED BY THE CODES, INCLUDING EXTERIOR INTERIOR RESTRIAN AND TRAFFIC BARRIERS. EXISTING EXIT CORRIDORS, PATHS OF EXITS, STAIRWAYS, OR EXIT SIGNAGE, MUST HAVE CLEAR MEANS OF EGRESS DURING PHASES OF CONSTRUCTION.
12. CONTRACTORS WISHING TO WORK IN THE BUILDING OR ON THE BUILDING PROPERTY SHALL BE REQUIRED TO PRESENT THE PROPER CERTIFICATES OF INSURANCE TO THE OFFICE OF THE DESIGN BUILDER. CONTRACTORS ARE REQUIRED TO BE LICENSED WITH THE LOCAL JURISDICTION. LICENSES AND BONDING ARE TO BE INCLUDED IN THE BID PER THE REQUIREMENTS IN THE SPECIFICATIONS.
13. DIMENSIONS NOTED ON THE ARCHITECTURAL FLOOR PLAN REGARDING DETAILS AND PARTITION THICKNESSES ARE NOMINAL DIMENSIONS. DETAILS AND SECTIONS SHOULD BE REFERRED TO FOR THE EXACT DIMENSION.

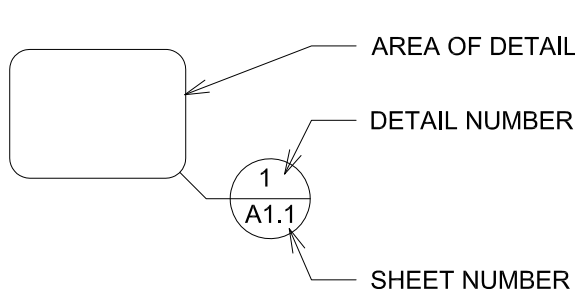
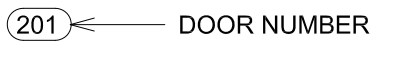
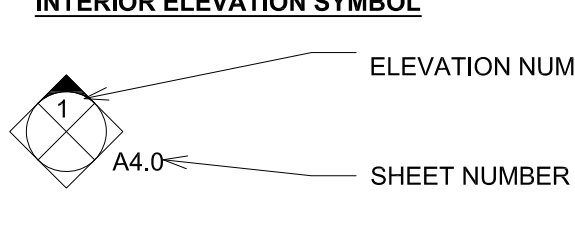

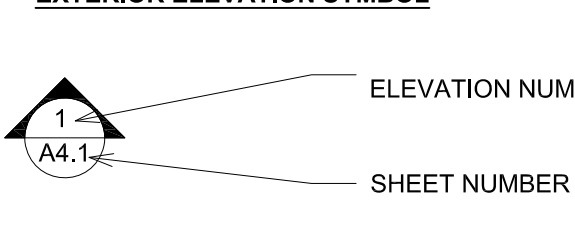

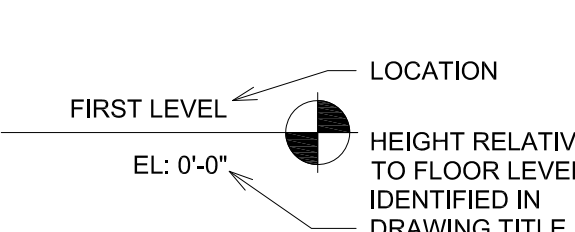

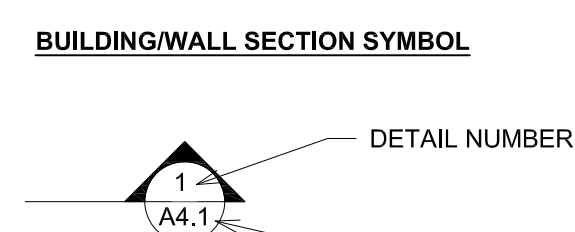


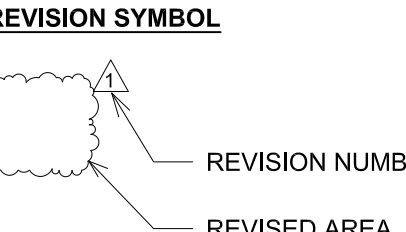
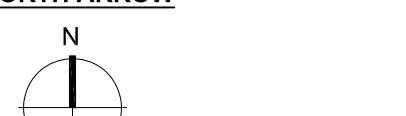
## ARCHITECTURAL NOTES

1. WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, AND LEVELED TO MATCH EXISTING ADJACENT SURFACE (MATCH EXISTING CONDITION AT DOOR JAMBS) VERIFY IN FIELD.
3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED OUTSIDE OF THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED AND REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT SURFACE, AT NO ADDITIONAL COST TO THE OWNER.
5. WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH.
6. NEW SLEEVES AND OPENINGS IN THE EXISTING FLOOR, WALL & CEILING CONSTRUCTION ARE TO BE SEALED WITH FIRE SAFETY MATERIAL.
7. ALL MISCELLANEOUS ITEMS (CHALKBOARDS, PENCIL SHARPENERS, ETC.) THAT INTERFERE WITH THE COMPLETION OF THE CONTRACT WORK BUT ARE NOT SHOWN TO BE REMOVED ARE TO BE REMOVED, STORED, AND REINSTALLED, AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THAT ITEMS CANNOT BE REINSTALLED IN ITS ORIGINAL LOCATION COORDINATE NEW LOCATION WITH ARCHITECT/OWNER.
8. UNLESS NOTED OTHERWISE, CONTRACTOR TO REMOVE EXISTING FLOORING AND BASE AS REQUIRED TO ACCOMMODATE DOOR ASSEMBLIES. PATCH/REPAIR AS NECESSARY TO MATCH ADJACENT SURFACES.
9. REFER TO MEPF DRAWINGS FOR DEMOLITION / REMOVAL / RELOCATION AND INSTALLATION OF FIXTURES AND DEVICES.
10. REFER TO SHEET G0.1 FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ADA COMPLIANT PLANS, ELEVATIONS AND DETAILS.
11. UPON REMOVAL OF DOORS, SHORE OPENINGS AS REQUIRED. SECURE ALL NEW FRAMES PER MANUFACTURER RECOMMENDATIONS. PROVIDE UNTELS AS REQUIRED. SEE STRUCTURAL DRAWINGS.
12. ON DOORS THAT ARE TO BE REMOVED, RETURN ALL DOOR HARDWARE TO OWNER PRIOR TO DISPOSAL.
13. ALL ELECTRICAL DEVICES AND ASSEMBLIES BEING AFFECTED BY DEMOLITION OF DOORS SHALL BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO THE OWNER.
14. COORDINATE WITH ABATEMENT CONTRACTOR FOR AREAS CALLED FOR DEMOLITION CONTAINING OR SUSPECTED TO CONTAIN ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS.

## ABBREVIATIONS

ACCESS. ACI ACoust. ADA	ACCESSIBLE AMERICAN CONCRETE INSTITUTE ACOUSTICAL AMERICANS WITH DISABILITIES ACT	MSDFP	MEDIUM DENSITY SPRAYED FIREPROOFING MDF MIL. MILIMETERS MIN. MISC. MHO M.O.
A.F.F. ALT. ALUM./AL. APPROX. ARCH. ASTM	ABOVE FINISHED FLOOR ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL AMERICAN SOCIETY FOR TESTING MATERIALS AT AUDIO VISUAL	NEC. N.I.C. NO. NTS	NECESSARY NOT IN CONTRACT NUMBER NOT TO SCALE
BD. BLDG. BM BIO BRK. CAB. C.C. CL. CJ CMU COL. CLG. CLR. CONC. CONT. CONTR. CORR. CPT. CR. CT.	BOARD BUILDING BEAM BOTTOM OF BREAK CABINET CENTER TO CENTER CENTERLINE CONTROL JOINT CONCRETE MASONRY UNIT COLUM. CEILING CLEAR CONCRETE CONTINUOUS CONTRACTOR CORRIDOR CARPET ACCESS CARD READER CERAMIC TILE	OD. OFCl OFCl ORD  P.B. PERS. PL PLJ P.IAM. PLY. PP. PSF PSI PT/PTD P.T.	ON CENTER OUTSIDE DIAMETER OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED OVERFLOW ROOF DRAIN  PIPE BOLLARD PERSON PLATE PLASTIC LAMINATE  PLYWOOD DOOR ACTUATOR PUSH PLATE POUNDS PER SQUARE FEET POUNDS PER SQUARE INCH PAINT/PAINTED PRESSURE TREATED
DEMO DIA. DIMS. DN. DR. DS DWGS. EA. EIFS  EL. ELEC. ELEV. EJ EQ. EQUIP. EWC EXP EXT EXIST.	DEMOLITION DIAMETER DIMENSIONS DOWN DOOR DOWN SPOUT DRAWINGS EACH EXTERIOR INSULATED FINISH SYSTEM ELEVATION ELECTRICAL ELEVATION/ELEVATOR EXPANSION JOINT EQUAL EQUIPMENT ELECTRIC WATER COOLER EXPANSION EXTERIOR EXISTING	RAD. RCP REFL. RESTRM. RM. R.O. RTU  SAFB SC. SCH/D SCHED. SD SF SGFT.  SHT. SIL. SJM. SPA SPEC. ST STC STB. STC. STL. STL/SS STOR. STRUCT. SV SYN.  T/ T/F.TG. TPNT TYP.	RADIUS REFLECTED CEILING PLAN REFLECTING/REFLECTED RESTROOM ROOM ROUGH OPENING ROOF TOP UNIT  SOUND ATTENUATION FIBER BATT INSULATION SEALED CONCRETE SCHEDULE  SCHEMATIC DESIGN SQUARE FEET STRUCTURAL GLAZED FACING TILE SHEET SIMILAR STEEL JOINT INSTITUTE STEEL METAL SPACES SPECIFICATIONS STONE TILE STONE CLASS TRANSMISSION STONE TILE BASE ST STC STL/SS STOR. STRUCT. SV SYNTHETIC  TOP OF TOP OF FOOTING TEXTURED PAINT TYPICAL  UNLESS NOTED OTHERWISE UNDERSIDE OF ROOF DECK UNITED STATES GEOLOGICAL SURVEY VB VCT. VERT. V.I.F. VWC  WATER CLOSET WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC
FD FEC FF FIN. FL./FLR. FOUND. FT. FTG. GA. GALV. GWB/ GYP, BD.	FLOOR DRAIN FIRE EXTINGUISHER CABINET FINISHED FLOOR FOUNDATION FOOT/FREET FOOTING GAUGE GALVANIZED GYPSUM WALL BOARD	U.N.O. U.S.R.D. USSGS  V.B. VCT. VERT. V.I.F. VWC  WC WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC	
HD HDSFP  HM HP HT/HTG. HVAC	HEAVY DUTY HIGH DENSITY SPRAYED FIREPROOFING HOLLOW METAL HIGH POINT HEIGHT HEATING, VENTILATION & AIR CONDITIONING	U.N.O. U.S.R.D. USSGS  VB VCT. VERT. V.I.F. VWC  WC WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC	
IN. INSUL. INT  JT.	INCH/INCHES INSULATION INTERIOR  JOINT	U.N.O. U.S.R.D. USSGS  V.B. VCT. VERT. V.I.F. VWC  WC WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC	
LAV LINO. LBS/LBS LP LVL.	LAVATORY LINOLEUM POUNDS LOW POINT LEVEL	U.N.O. U.S.R.D. USSGS  V.B. VCT. VERT. V.I.F. VWC  WC WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC	
M MAT. MAX. MAS. MFR/ MANUF.	MENS MATERIAL MAXIMUM MASONRY MANUFACTURER	U.N.O. U.S.R.D. USSGS  V.B. VCT. VERT. V.I.F. VWC  WC WOOD W WOMENS W WITH WITHOUT WELDED WIRE FABRIC	

## GRAPHIC SYMBOLS

<b>ENLARGED PLAN SYMBOL</b>	<b>DOOR TAG SYMBOL</b>
	
<b>INTERIOR ELEVATION SYMBOL</b>	<b>WINDOW TAG SYMBOL</b>
	
<b>EXTERIOR ELEVATION SYMBOL</b>	<b>KEYNOTE TAG SYMBOL</b>
	
<b>EXTERIOR MARK SYMBOL</b>	<b>COLUMN GRID SYMBOL</b>
	
<b>BUILDING/WALL SECTION SYMBOL</b>	<b>PARTITION TAG SYMBOL</b>
	
	<b>ROOM TAG SYMBOL</b>
	
	<b>REVISION SYMBOL</b>
	
	<b>NORTH ARROW</b>
	

## CHICAGO BUILDING CODE

2019 Chicago Building Code Chicago Building Rehabilitation Code Municipal Code Chicago Electrical Code 2019 Chicago Building Code and Interim Chicago Fire Prevention Code 2003 International Fuel Gas Code Interim Mechanical Code Chicago Energy Conservation Code Interim Plumbing Code	<b>INDEX OF DRAWINGS</b>
SHEET NO.	SHEET NAME
<b>GENERAL</b>	
A-000	SHEET COVER
A-001	TITLE SHEET
<b>ARCHITECTURAL</b>	
A-1000	BASEMENT FLOOR PLAN DEMOLITION
A-100R	BASEMENT FLOOR PLAN RENOVATION
A-101D	FIRST FLOOR PLAN DEMOLITION
A-101R	FIRST FLOOR PLAN RENOVATION
A-102D	SECOND FLOOR PLAN DEMOLITION
A-102R	SECOND FLOOR PLAN RENOVATION
A-103D	THIRD FLOOR PLAN DEMOLITION
A-103R	THIRD FLOOR PLAN RENOVATION
A-104D	ROOF PLAN DEMOLITION
A-104R	ROOF PLAN RENOVATION
A-200D	BASEMENT & FIRST FLOOR RCP DEMOLITION
A-201D	SECOND & THIRD FLOOR RCP DEMOLITION
A-401R	ENLARGED RESTROOMS PLANS, RENOVATION
A-600	BASEMENT & FIRST FLOOR DOOR & HARDWARE SCHEDULE
<b>MECHANICAL</b>	
M-0	MECHANICAL NOTES AND SYMBOLS
M-1D	MECHANICAL DEMOLITION FIRST FLOOR
M-2D	MECHANICAL DEMOLITION 2nd. FLOOR AND PARTIAL ROOF
M-1	MECHANICAL 1ST. FLOOR NEW WORK
M-2	MECHANICAL 2ND. FLOOR NEW WORK
M-3	MECHANICAL ROOF NEW WORK
M-4	MECHANICAL DETAILS
M-5	MECHANICAL EQUIPMENT SCHEDULE
M-6	MECHANICAL CONTROLS DIAGRAM AHU-1 AND AHU-2
<b>ELECTRICAL</b>	
E-100	TECHNICAL OVERSIGHT SYMBOLS TEL & FIRE ALARM PLAN
E-101	FIRST FLOOR LIGHTING PLAN
E-102	SECOND FLOOR & PARTIAL ROOF LIGHTING PLAN
E-103	FIRST FLOOR SECURITY, DATA, TEL & FIRE ALARM PLAN
E-104	
E-105	FIRST FLOOR POWER PLAN
E-106	SECOND FLOOR & PARTIAL ROOF POWER PLAN
<b>PLUMBING</b>	
P-1D	PLUMBING DEMOLITION 1st. FLOOR
P-2D	PLUMBING DEMOLITION 2nd. FLOOR
P-1	PLUMBING 1st. FLOOR NEW WORK
P-2	PLUMBING 2nd. FLOOR NEW WORK
FP-1	FIRE PROTECTION NEW WORK
BAS-1	BUILDING AUTOMATION AHU-1 1st. FLOOR
BAS-2	BUILDING AUTOMATION AHU-2 2nd. FLOOR

## DEMOLITION KEY NOTES

- BASEMENT SCOPE OF WORK**
- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL (MOISTURE SATURATION)
- D2 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PLUMBING PIPING, THUS, ALLOWANCES 3K
- D3 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PARTS FOR SUMP PUMP
- D3A REMOVE AND DISPOSE OFF PROPERLY SUMP PUMP

### INTERIOR

- D4 CORRIDOR FINISH FLOOR  
REMOVE EXISTING VCT FLOOR FINISH & DISPOSE OF PROPERLY  
REMOVE 10% OF DAMAGED SUBSTRATE  
MEN & WOMEN RESTROOM  
REMOVE EXISTING PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTION.  
REMOVE EXISTING DAMAGED WORN OUT OLD FINISHES, VCT FLOORING AND C/PY PAINTED WALLS & CEILINGS.  
EXTERIOR FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
FRAMES, DOORS & HARDWARE IN POOR SHAPE BUT OPERATING CONDITIONS. REMOVE EXTERIOR 101 & 102 FRAMES, DOORS & HARDWARE & DISPOSE OF PROPERLY  
IT SERVER ROOM: REMOVE ALL EFFLORESCENCE AND ROOF LEAK DAMAGE FROM UPPER FLOOR EXPOSED WOOD STRUCTURE & MASONRY SIDE WALLS & DISPOSE OF PROPERLY, CLEAN THOROUGHLY.
- D8 ROOF HATCH OPENING: REMOVE ROOF ASSEMBLY AREA FOR NEW ROOF HATCH LOCATION
- D9 BITUMEN ROOFING SYSTEM COMPLETE DEMO: REMOVE & DISPOSE OF PROPERLY AREA IS 600 SF.
- D10 PARAPET WALL & COPING: REMOVE & DISPOSE OF PROPERLY DAMAGED/CRACKED 12 BRICK COURSES AT FACADE SIDE AND COPING AT THAT AREA AND DISPOSE OF PROPERLY.

### MECHANICAL

- D11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.

### ROOF:

- ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

- UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL. SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL..

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

- ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

- FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

- FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.

- UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL. SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL..

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

### ELECTRICAL

- D13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.

- D14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).

- D15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.

- D16 ELEVATOR CONTROLS SHALL BE UPGRADED.

- D17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.

- D18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.

## SCOPE OF WORK

## RENOVATION KEY NOTES

### BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION.  
PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL
- R2 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K
- R3 REPAIR SUM PUMP
- R3A REPLACE SUM PUMP

### INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR:  
PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER.  
PROVIDE 10% NEW SUBSTRATE IN KIND.
- R5 NEW MEN & WOMEN RESTROOMS:  
PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTIONS.  
PROVIDE NEW FINISHES, COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.
- R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT  
PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE.
- R7 IT SERVER ROOM: CLEAN AND PREPARE SURFACES. INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 Hr. FIRE ENCLOSURE.  
PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.
- R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES:  
PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES  
PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES:  
PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C, AREA 3,199 SF.  
FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,768 SF.  
REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.
- R9 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

### MECHANICAL

- R11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.

### ROOF:

- ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

- UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL. SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL..

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

- ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

- FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

- FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.

- UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL. SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL..

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

### ELECTRICAL

- R13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.

- R14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).

- R15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.

- R16 ELEVATOR CONTROLS SHALL BE UPGRADED.

- R17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.

- R18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.



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Issuance	Mark	Description	Date

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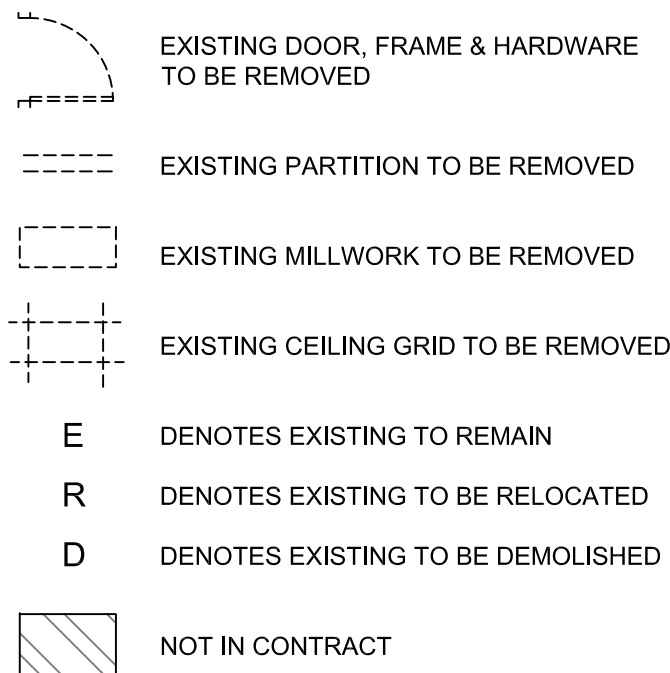
## TITLE SHEET

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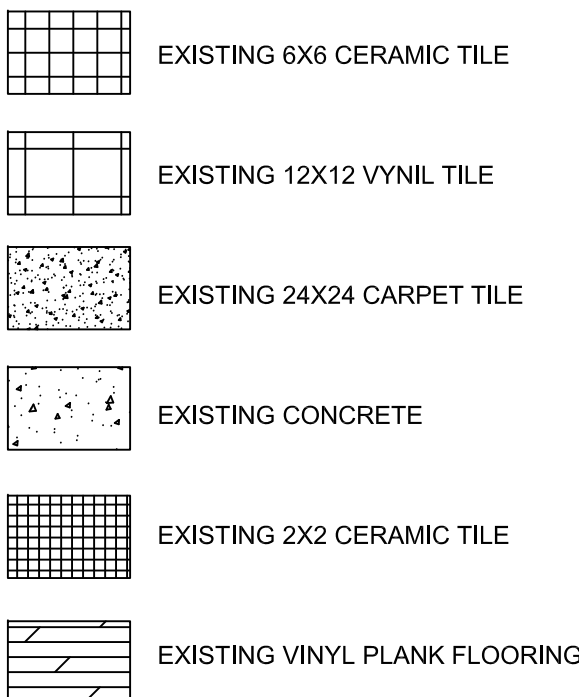
DEMOLITION LEGEND



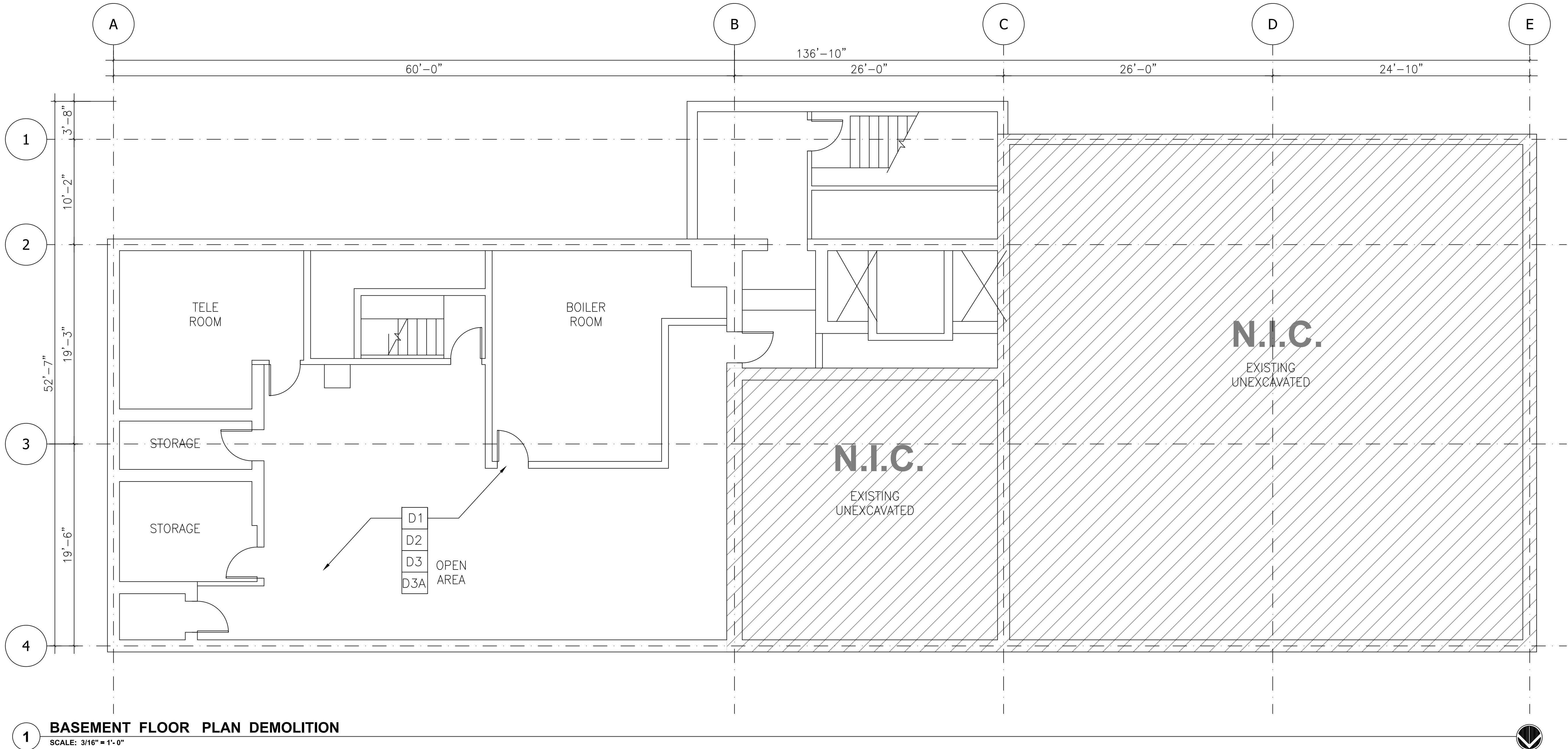
GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE INDICATED, EXISTING CONSTRUCTION SHALL REMAIN. CONSTRUCTION TO BE REMOVED IS INDICATED WITH A DASHED LINE, HATCHED AND/OR NOTED TO BE REMOVED.
- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT CONTRACTOR'S EXPENSE.
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
- WHERE CONSTRUCTION IS TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING OF ADJACENT CONSTRUCTION TO REMAIN AND REFINISHING ADJACENT CONSTRUCTION TO MATCH EXISTING.
- CONTRACTOR SHALL CONDUCT ALL ACTIVITIES IN SUCH A MANNER AS TO AVOID DISRUPTIONS TO THE REGULAR ACTIVITIES AND OPERATIONS THAT TAKE PLACE IN ADJACENT AREAS OF THE BUILDING. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO CONTROL DUST, NOISE AND ODOR MIGRATION TO ADJACENT BUILDING AREAS.
- CONTRACTOR SHALL COMMUNICATE WITH OWNER'S REPRESENTATIVE THE SCHEDULE FOR ALL ACTIVITIES WHICH COULD POTENTIALLY IMPACT THE OWNER'S OPERATION SUCH AS MOVEMENT OF MATERIALS AND EQUIPMENT OUTSIDE OF THE PROJECT SPACE. INTERRUPTIONS IN THE UTILITY SERVICE, ETC. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO BEGINNING SUCH ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING AND PEDESTRIANS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR TO REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.

EXISTING FINISH FLOOR LEGEND



DEMOLITION NOTE: REMOVE BUBBLED AREAS AND DISPOSE OFF PROPERLY





EXIT SUMMARY

MINIMUM EXIT DOOR SEPARATION	
ACTUAL EXIT DOOR SEPARATION	
MAXIMUM ALLOWABLE TRAVEL DISTANCE	
MAXIMUM ACTUAL TRAVEL DISTANCE	
INDICATES TRAVEL DISTANCE	→

RENOVATION GENERAL NOTES

- FOR DOOR AND SECURITY SCOPE OF WORK, SEE DOOR & HARDWARE SCHEDULE. WHEN 75% OF CONSTRUCTION IS COMPLETED AND BEFORE ANY DRYWALL AND/OR FINISH SURFACES ARE APPLIED, CONTRACTOR SHALL SCHEDULE AN ADA INSPECTION WITH THE BUILDING INSPECTOR FOR A WALKTHROUGH OF THIS FACILITY.
- FOR ELECTRICAL WORK, SEE ELECTRICAL DRAWINGS & SPECIFICATIONS.
- CONNECT ROOF DRAIN PIPES TO STORM DRAINAGE.
- ALL WORK TO COMPLY WITH ADA, 28 CFR PART 36, SUBPART C.

WALL SURFACE FINISH KEY

PNT-1	COLORS PER OWNER
PNT-2	COLORS PER OWNER
PNT-3	COLORS PER OWNER

NOTES

- SOFFIT, GYP BOARD CEILING PNT-1 IN EGGSHELL FINISH.
- TRIM PNT-1 IN A SEMI-GLOSS FINISH.
- WALL COLORS DESIGNATION PNT1 & PNT-2 WILL BE DETERMINED BY OWNER.
- CEILING TO BE PNT-3 (WHITE) EGGSHELL FINISH.

FLOOR & BASE FINISH KEY

	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED

NOTES

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
- SEAL TILE AND GROUT AS EARLY AS POSSIBLY FOLLOWING INSTALLATION.
- FINISH GROUT LEVEL TO TILE SURFACE.
- ALIGN CERAMIC WALL BASE GROUT LINES WITH FLOORING GROUT LINES.
- PAINTING CONTRACTOR TO PAINT HVAC GRILLES TO MATCH ADJACENT SURFACE.
- FLOORING CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIM TO ALL FLOORING FINISHES.

FINISH KEY

CERAMIC TILE GROUT	TO BE DETERMINED
SOLID SURFACE (SS-1)	TO BE DETERMINED
WOOD FINISH (WD-1)	TO BE DETERMINED
PLASTIC LAMINATE (PL-2)	TO BE DETERMINED

RENOVATION KEY NOTES

BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION, PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL.
- R2 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K.
- R3 REPAIR SUM PUMP.
- R3A REPLACE SUM PUMP.

INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR: PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER. PROVIDE 10% NEW SUBSTRATE IN KIND.
- R5 NEW MEN & WOMEN RESTROOMS: PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTIONS. PROVIDE NEW FINISHES: COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.
- R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR) PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT. PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE.
- R7 IT SERVER ROOM: CLEAN AND PREPARE SURFACES, INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 Hr. FIRE ENCLOSURE. PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.
- R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES. AREA IS 5,967 SF.
- R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES. AREA IS 5,967 SF.
- R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C, AREA 3,199 SF. FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,788 SF).
- R9 REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.
- R10 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

MECHANICAL

- R11 BASEMENT: ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING. ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
- R12 ROOF: ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON-FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY. REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

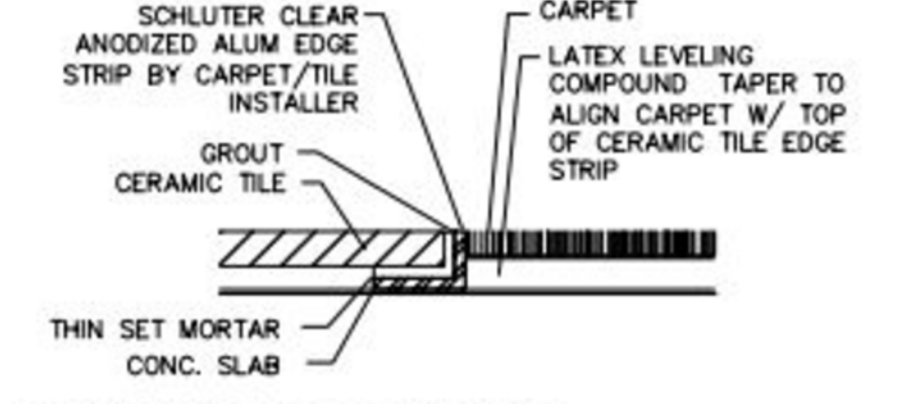
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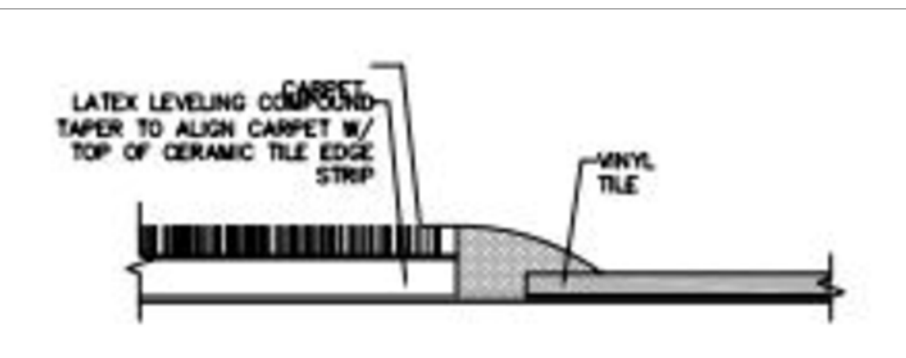
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- R13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.
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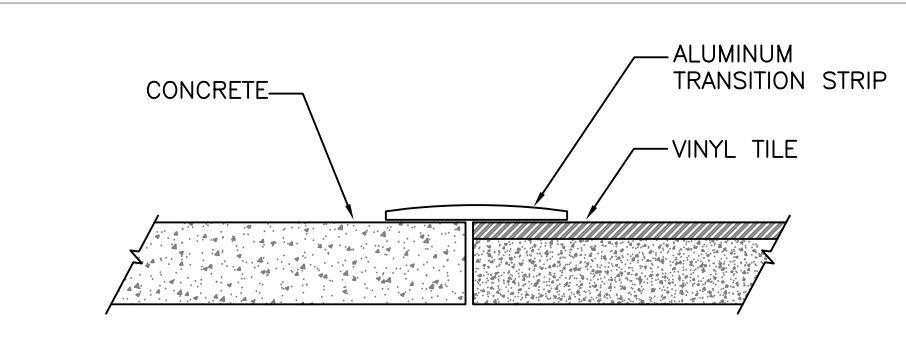
4 CERAMIC TILE / CPT TRANSITION

SCALE: NTS.



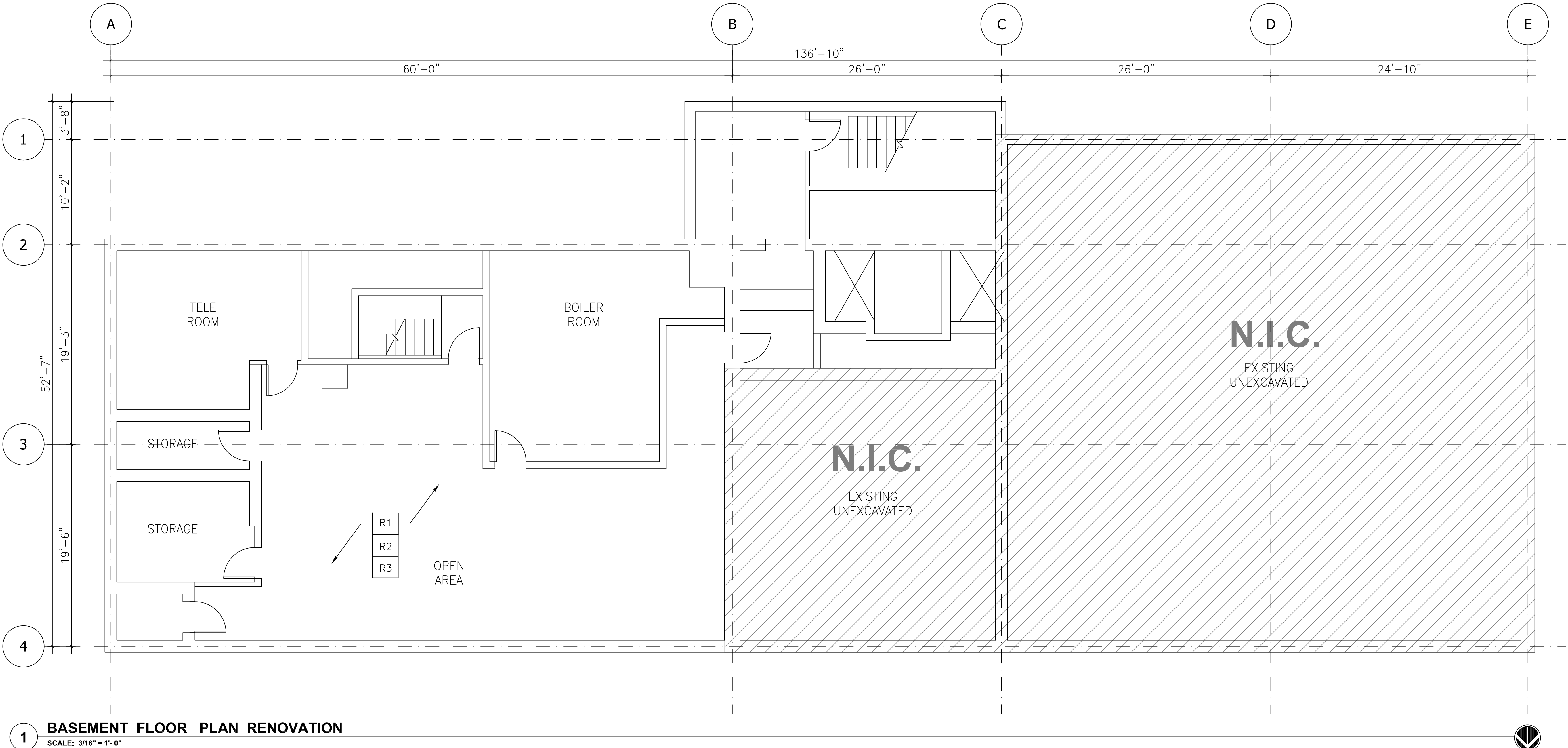
3 VINYL TILE / CPT TRANSITION

SCALE: NTS.



2 VINYL TILE / CONCRETE TRANSITION

SCALE: NTS.



1 BASEMENT FLOOR PLAN RENOVATION

SCALE: 3/16" = 1'-0"



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Issuance

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PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438

Title

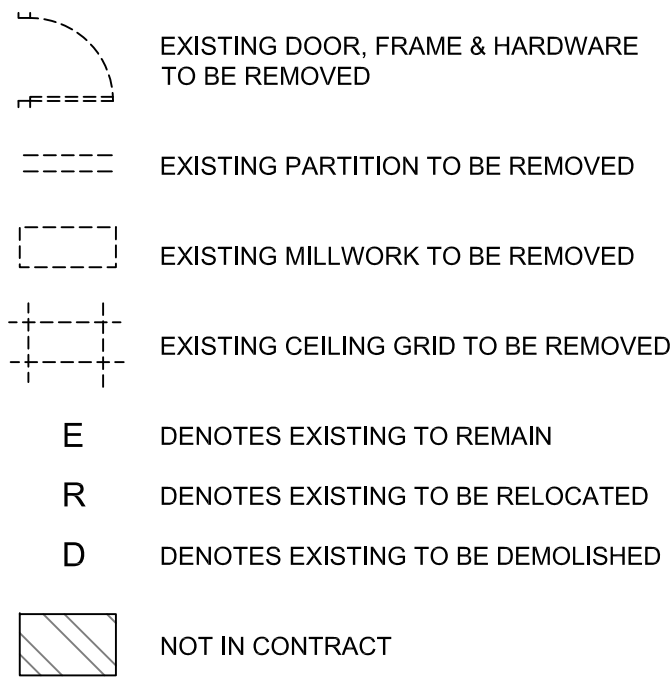
BASEMENT FLOOR PLAN RENOVATION

Sheet

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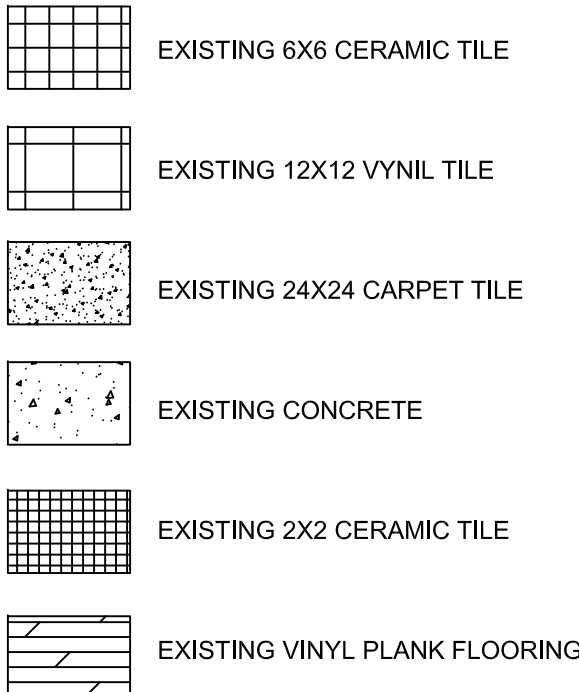
DEMOLITION LEGEND



GENERAL DEMOLITION NOTES

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EXISTING FINISH FLOOR LEGEND



DEMOLITION NOTE: REMOVE BUBBLED AREAS AND DISPOSE OFF PROPERLY

DEMOLITION KEY NOTES

BASEMENT SCOPE OF WORK

- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL
- D2 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PLUMBING PIPING, THUS: ALLOWANCES 3K
- D3 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PARTS FOR SUMP PUMP
- D3A REMOVE AND DISPOSE OFF PROPERLY SUMP PUMP

INTERIOR

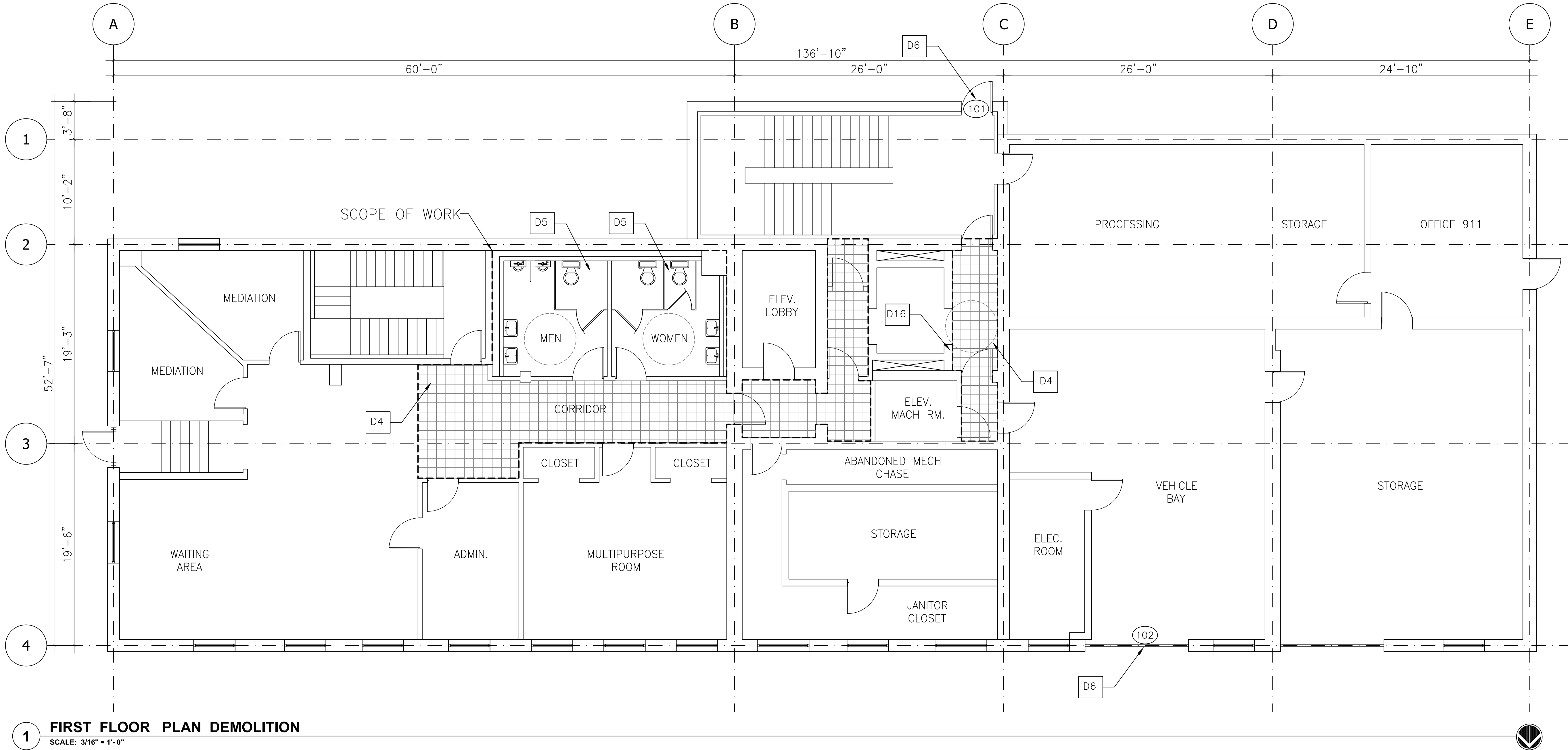
- D4 CORRIDOR FINISH FLOOR  
REMOVE EXISTING VCT FLOOR FINISH & DISPOSE OF PROPERLY  
REMOVE 10% OF DAMAGED SUBSTRATE
- D5 MEN & WOMEN RESTROOM  
REMOVE EXISTING PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS.  
INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTION  
REMOVE EXISTING DAMAGED WORN OUT OLD FINISHES, VCT FLOORING AND CT/ PAINTED WALLS & CEILINGS.
- D6 EXTERIOR FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
FRAMES, DOORS & HARDWARE IN POOR SHAPE BUT OPERATING CONDITIONS. REMOVE EXTERIOR 101 & 102 FRAMES, DOORS & HARDWARE & DISPOSE OF PROPERLY
- D7 IT SERVER ROOM: REMOVE ALL EFFLORESCENCE AND ROOF LEAK DAMAGE FROM UPPER FLOOR EXPOSED WOOD STRUCTURE & MASONRY SIDE WALLS & DISPOSE OF PROPERLY, CLEAN THOROUGHLY.
- D8 ROOF HATCH OPENING: REMOVE ROOF ASSEMBLY AREA FOR NEW ROOF HATCH LOCATION
- D9 BITUMEN ROOFING SYSTEM COMPLETE DEMO; REMOVE & DISPOSE OF PROPERLY AREA IS 000 SF.
- D10 PARAPET WALL & COPING: REMOVE & DISPOSE OF PROPERLY DAMAGED/ CRACKED 12 BRICK COURSES AT FACADE SIDE AND COPING AT THAT AREA AND DISPOSE OF PROPERLY.

MECHANICAL

- D11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
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ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.
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- ADD SAFETY RAILINGS IN THE PARAPET LEDGE.
- ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.
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FIRST FLOOR PLAN DEMOLITION

SCALE: 3/16" = 1'-0"



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Issuance

Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438

Title  
FIRST FLOOR PLAN  
DEMOLITION

Sheet

A-101D



EXIT SUMMARY

MINIMUM EXIT DOOR SEPARATION	
ACTUAL EXIT DOOR SEPARATION	
MAXIMUM ALLOWABLE TRAVEL DISTANCE	
MAXIMUM ACTUAL TRAVEL DISTANCE	
INDICATES TRAVEL DISTANCE	→

GENERAL NOTES

- FOR DOOR AND SECURITY SCOPE OF WORK, SEE DOOR & HARDWARE SCHEDULE WHEN 75% OF CONSTRUCTION IS COMPLETED AND BEFORE ANY DRYWALL AND/OR FINISH SURFACES ARE APPLIED, CONTRACTOR SHALL SCHEDULE AN ADA INSPECTION WITH THE BUILDING INSPECTOR FOR A WALKTHROUGH OF THIS FACILITY.
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- ALL WORK TO COMPLY WITH ADA, 28 CFR PART 36, SUBPART C.

WALL SURFACE FINISH KEY

PNT-1	COLORS PER OWNER
PNT-2	COLORS PER OWNER
PNT-3	COLORS PER OWNER

NOTES

- SOFFIT, GYP BOARD CEILING PNT-1 IN EGGSHELL FINISH
- TRIM PNT-1 IN A SEMI-GLOSS FINISH
- WALL COLORS DESIGNATION PNT1 & PNT-2 WILL BE DETERMINED BY OWNER
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FLOOR & BASE FINISH KEY

	TO BE DETERMINED
	TO BE DETERMINED
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FINISH KEY

CERAMIC TILE GROUT	TO BE DETERMINED
SOLID SURFACE (SS-1)	TO BE DETERMINED
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PLASTIC LAMINATE (PL-2)	TO BE DETERMINED

RENOVATION KEY NOTES

BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION, PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL.
- R2 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K
- R3 REPAIR SUM PUMP
- R3A REPLACE SUM PUMP

INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR: PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER. PROVIDE 10% NEW SUBSTRATE IN KIND.
- R5 NEW MEN & WOMEN RESTROOMS: PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTIONS. PROVIDE NEW FINISHES: COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.
- R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR) PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE
- R7 IT SERVER ROOM: CLEAN AND PREPARE SURFACES, INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 Hr. FIRE ENCLOSURE. PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.
- R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C, AREA 3,199 SF. FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,788SF)
- R9 REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.
- R10 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

MECHANICAL

- R11 BASEMENT: ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS, NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING. ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
- R12 ROOF: ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM, THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS, UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY, REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

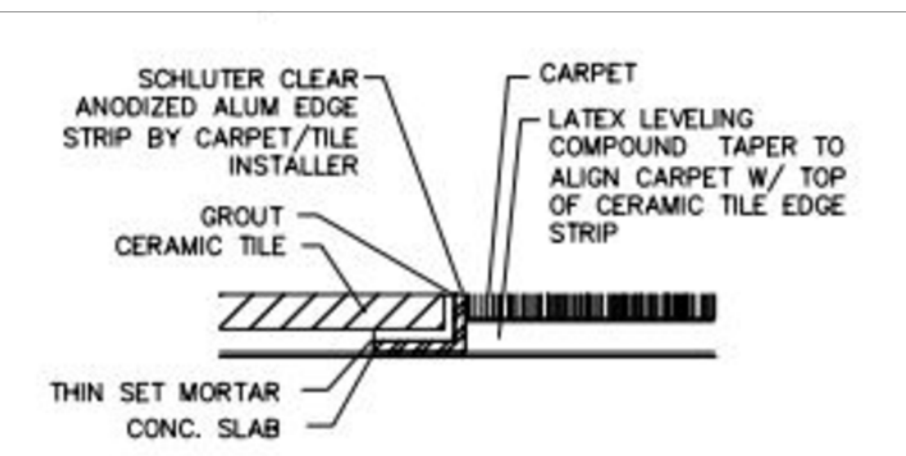
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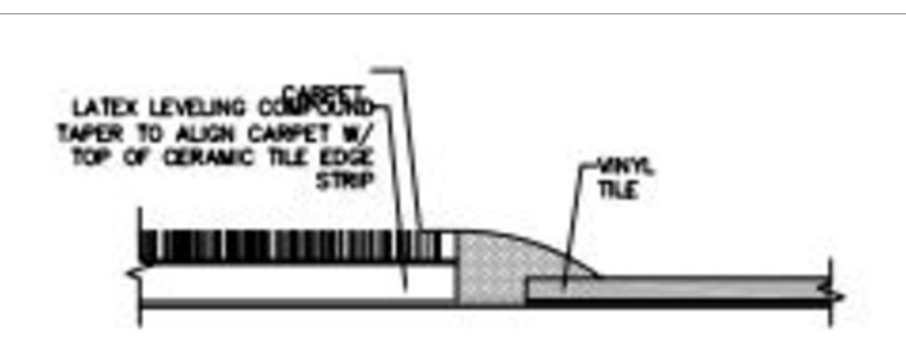
ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

ELECTRICAL

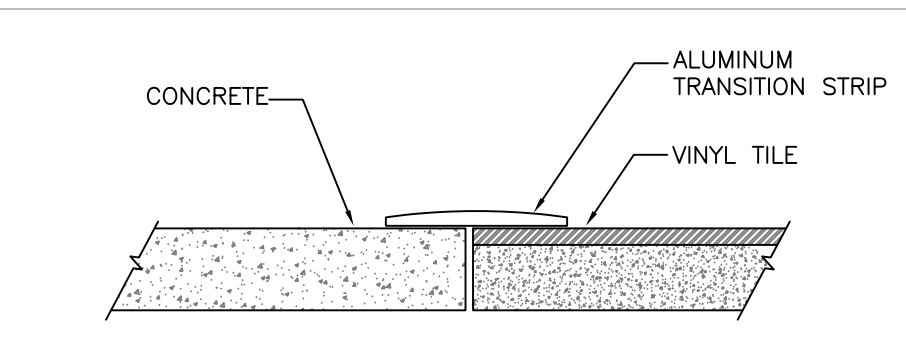
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- R14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).
- R15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT, FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.
- R16 ELEVATOR CONTROLS SHALL BE UPGRADED.



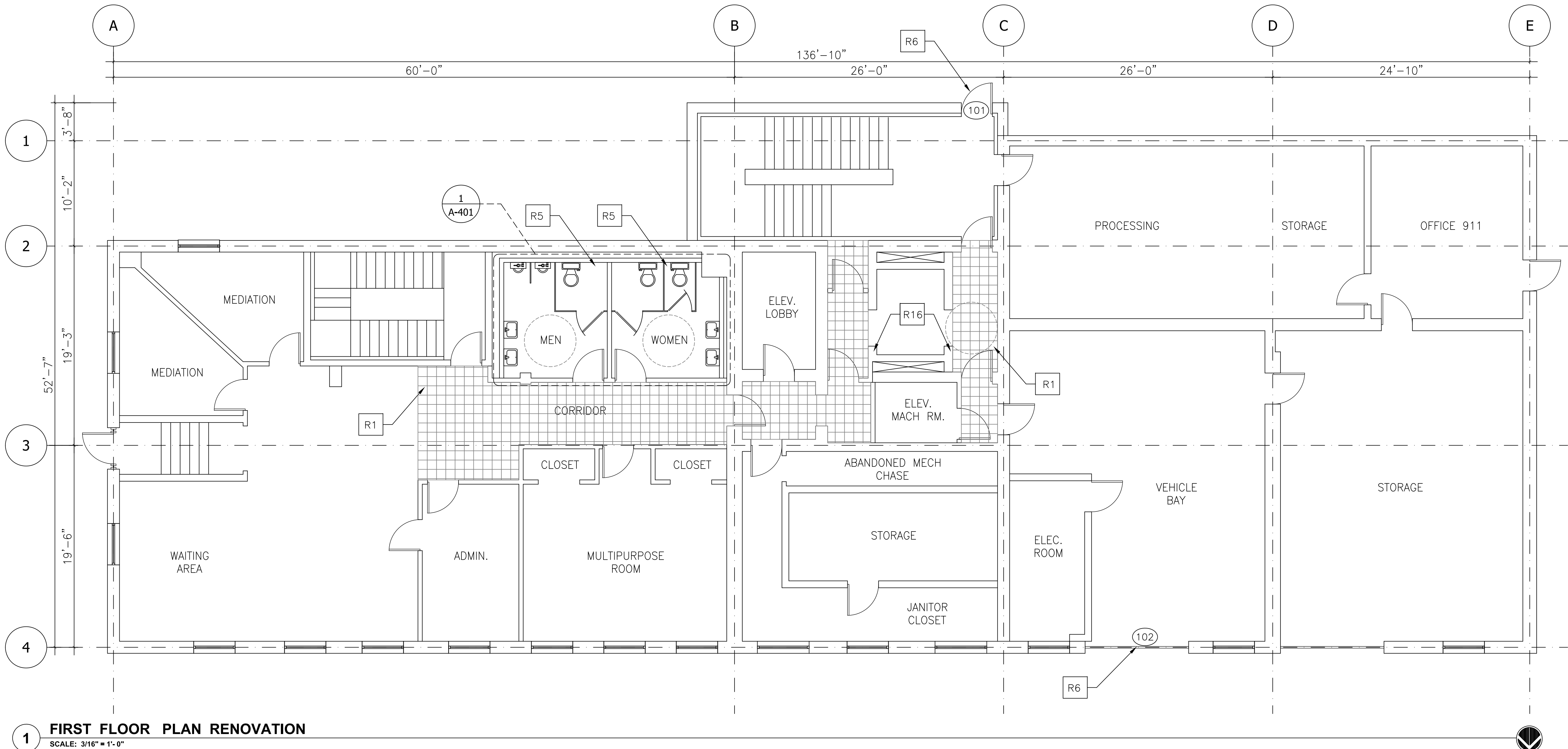
4 CERAMIC TILE / CPT TRANSITION  
SCALE: NTS.



3 VINYL TILE / CPT TRANSITION  
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2 VINYL TILE / CONCRETE TRANSITION  
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1 FIRST FLOOR PLAN RENOVATION  
SCALE: 3/16" = 1'-0"



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Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438  
Title

FIRST FLOOR PLAN  
RENOVATION

Sheet

A-101R



DEMOLITION LEGEND

- EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
- EXISTING PARTITION TO BE REMOVED
- EXISTING MILLWORK TO BE REMOVED
- EXISTING CEILING GRID TO BE REMOVED
- E DENOTES EXISTING TO REMAIN
- R DENOTES EXISTING TO BE RELOCATED
- D DENOTES EXISTING TO BE DEMOLISHED
- NOT IN CONTRACT

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE INDICATED, EXISTING CONSTRUCTION SHALL REMAIN. CONSTRUCTION TO BE REMOVED IS INDICATED WITH A DASHED LINE, HATCHED AND/OR NOTED TO BE REMOVED.
- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT CONTRACTOR'S EXPENSE.
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
- WHERE CONSTRUCTION IS TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING OF ADJACENT CONSTRUCTION TO REMAIN AND REFINISHING ADJACENT CONSTRUCTION TO MATCH EXISTING.
- CONTRACTOR SHALL CONDUCT ALL ACTIVITIES IN SUCH A MANNER AS TO AVOID DISRUPTIONS TO THE REGULAR ACTIVITIES AND OPERATIONS THAT TAKE PLACE IN ADJACENT AREAS OF THE BUILDING. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO CONTROL DUST, NOISE AND ODOR MIGRATION TO ADJACENT BUILDING AREAS.
- CONTRACTOR SHALL COMMUNICATE WITH OWNER'S REPRESENTATIVE THE SCHEDULE FOR ALL ACTIVITIES WHICH COULD POTENTIALLY IMPACT THE OWNER'S OPERATION SUCH AS MOVEMENT OF MATERIALS AND EQUIPMENT OUTSIDE OF THE PROJECT SPACE. INTERRUPTIONS IN THE UTILITY SERVICE, ETC. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO BEGINNING SUCH ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING AND PEDESTRIANS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR TO REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.

EXISTING FINISH FLOOR LEGEND

- EXISTING 6X6 CERAMIC TILE
- EXISTING 12X12 VYNIL TILE
- EXISTING 24X24 CARPET TILE
- EXISTING CONCRETE
- EXISTING 2X2 CERAMIC TILE
- EXISTING VINYL PLANK FLOORING

DEMOLITION NOTE: REMOVE BUBBLED AREAS AND DISPOSE OFF PROPERLY

DEMOLITION KEY NOTES

BASEMENT SCOPE OF WORK

- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL
- D2 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PLUMBING PIPING, THUS: ALLOWANCES 3K
- D3 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PARTS FOR SUMP PUMP
- D3A REMOVE AND DISPOSE OFF PROPERLY SUMP PUMP

INTERIOR

- D4 CORRIDOR FINISH FLOOR  
REMOVE EXISTING VCT FLOOR FINISH & DISPOSE OF PROPERLY  
REMOVE 10% OF DAMAGED SUBSTRATE
- D5 MEN & WOMEN RESTROOM  
REMOVE EXISTING PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS.  
INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTION  
REMOVE EXISTING DAMAGED WORN OUT OLD FINISHES, VCT FLOORING AND CT/ PAINTED WALLS & CEILINGS.
- D6 EXTERIOR FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
FRAMES, DOORS & HARDWARE IN POOR SHAPE BUT OPERATING CONDITIONS. REMOVE EXTERIOR 101 & 102 FRAMES, DOORS & HARDWARE & DISPOSE OF PROPERLY
- D7 IT SERVER ROOM: REMOVE ALL EFFLORESCENCE AND ROOF LEAK DAMAGE FROM UPPER FLOOR EXPOSED WOOD STRUCTURE & MASONRY SIDE WALLS & DISPOSE OF PROPERLY, CLEAN THOROUGHLY.
- D8 ROOF HATCH OPENING: REMOVE ROOF ASSEMBLY AREA FOR NEW ROOF HATCH LOCATION
- D9 BITUMEN ROOFING SYSTEM COMPLETE DEMO; REMOVE & DISPOSE OF PROPERLY AREA IS 000 SF.
- D10 PARAPET WALL & COPING: REMOVE & DISPOSE OF PROPERLY DAMAGED/ CRACKED 12 BRICK COURSES AT FACADE SIDE AND COPING AT THAT AREA AND DISPOSE OF PROPERLY.
- MECHANICAL

- D11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
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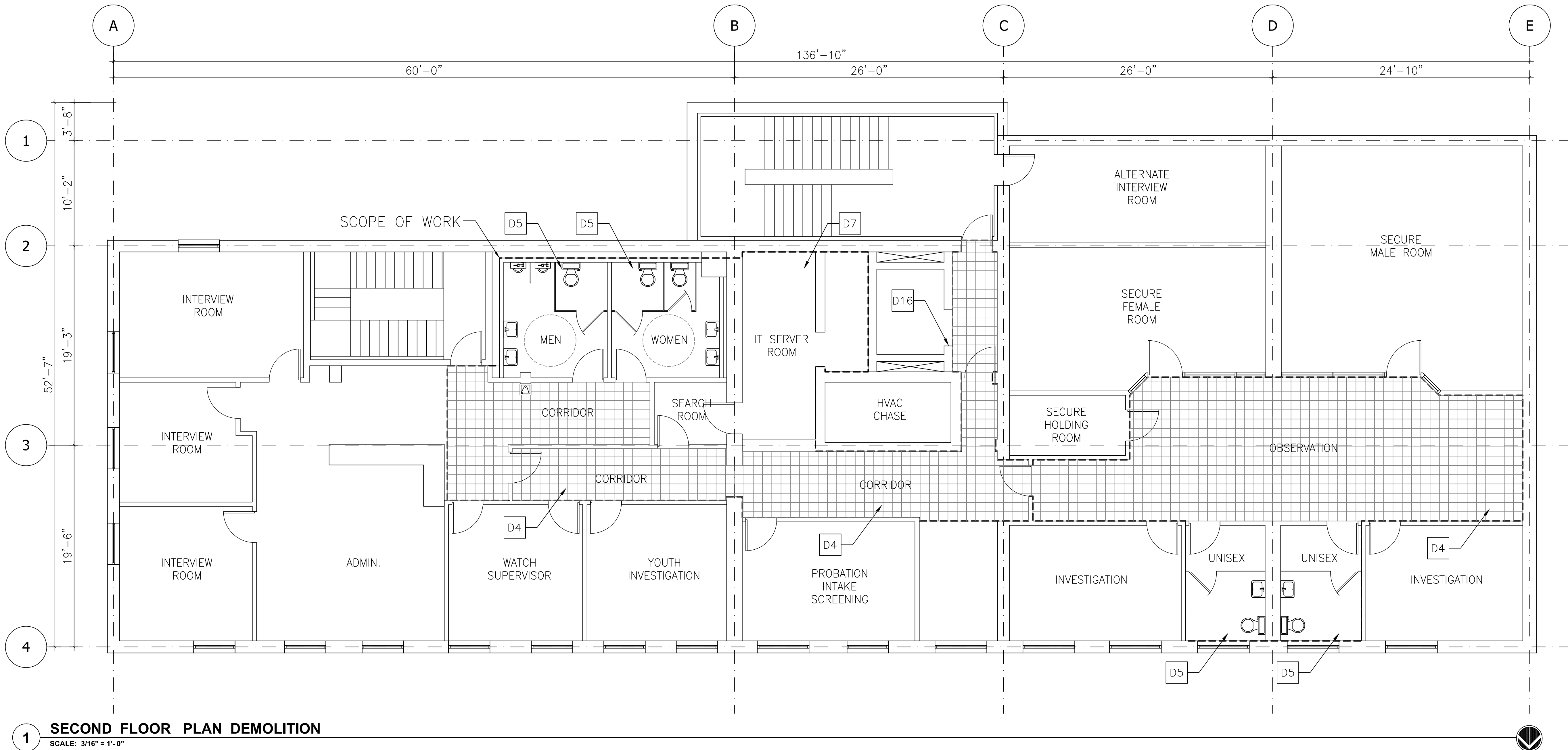
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- D16 ELEVATOR CONTROLS SHALL BE UPGRADED.

- D17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.

- D18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.



1 SECOND FLOOR PLAN DEMOLITION  
SCALE: 3/16" = 1'-0"



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PBC Contract No.: 00000  
Project No.: 5438

Title  
SECOND FLOOR PLAN  
DEMOLITION

Sheet

A-102D



EXIT SUMMARY

MINIMUM EXIT DOOR SEPARATION	
ACTUAL EXIT DOOR SEPARATION	
MAXIMUM ALLOWABLE TRAVEL DISTANCE	
MAXIMUM ACTUAL TRAVEL DISTANCE	
INDICATES TRAVEL DISTANCE	→

GENERAL NOTES

- FOR DOOR AND SECURITY SCOPE OF WORK, SEE DOOR & HARDWARE SCHEDULE WHEN 75% OF CONSTRUCTION IS COMPLETED AND BEFORE ANY DRYWALL AND/OR FINISH SURFACES ARE APPLIED. CONTRACTOR SHALL SCHEDULE AN ADA INSPECTION WITH THE BUILDING INSPECTOR FOR A WALKTHROUGH OF THIS FACILITY.
- FOR ELECTRICAL WORK, SEE ELECTRICAL DRAWINGS & SPECIFICATIONS.
- CONNECT ROOF DRAIN PIPES TO STORM DRAINAGE.
- ALL WORK TO COMPLY WITH ADA, 28 CFR PART 36, SUBPART C.

WALL SURFACE FINISH KEY

PNT-1	COLORS PER OWNER
PNT-2	COLORS PER OWNER
PNT-3	COLORS PER OWNER

NOTES

- SOFFIT, GYP BOARD CEILING PNT-1 IN EGGSHELL FINISH
- TRIM PNT-1 IN A SEMI-GLOSS FINISH
- WALL COLORS DESIGNATION PNT1 & PNT-2 WILL BE DETERMINED BY OWNER
- CEILING TO BE PNT-3 (WHITE) EGGSHELL FINISH

FLOOR & BASE FINISH KEY

	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED

NOTES

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
- SEAL TILE AND GROUT AS EARLY AS POSSIBLY FOLLOWING INSTALLATION.
- FINISH GROUT LEVEL TO TILE SURFACE.
- ALIGN CERAMIC WALL BASE GROUT LINES WITH FLOORING GROUT LINES.
- PAINTING CONTRACTOR TO PAINT HVAC GRILLES TO MATCH ADJACENT SURFACE.
- FLOORING CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIM TO ALL FLOORING FINISHES

FINISH KEY

CERAMIC TILE GROUT	TO BE DETERMINED
SOLID SURFACE (SS-1)	TO BE DETERMINED
WOOD FINISH (WD-1)	TO BE DETERMINED
PLASTIC LAMINATE (PL-2)	TO BE DETERMINED

RENOVATION KEY NOTES

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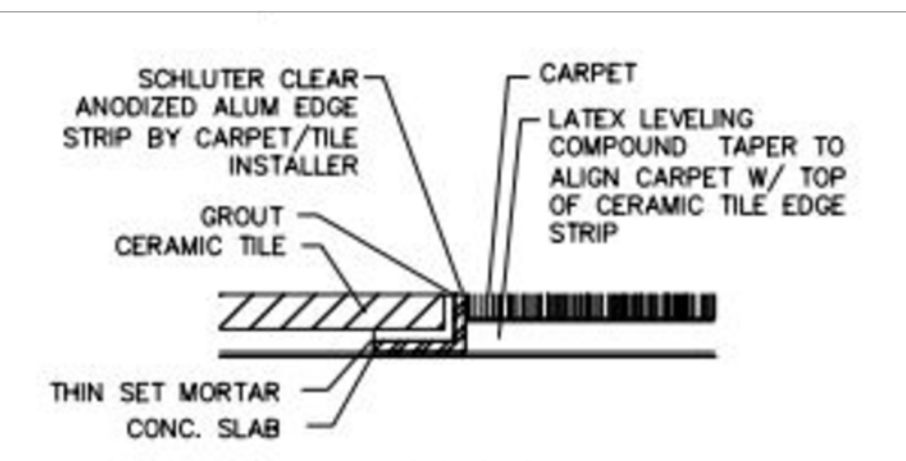
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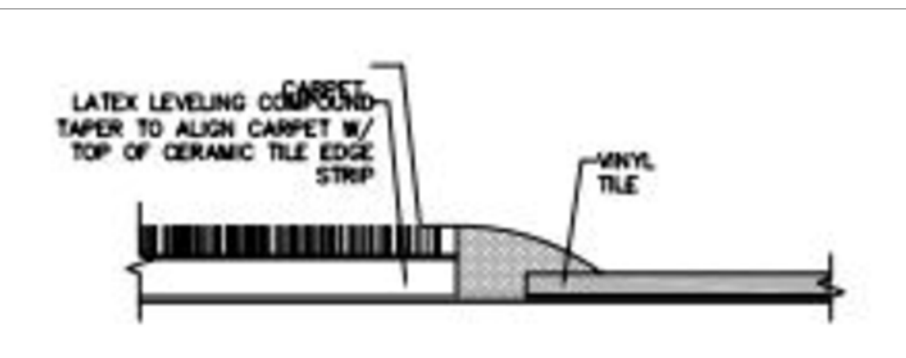
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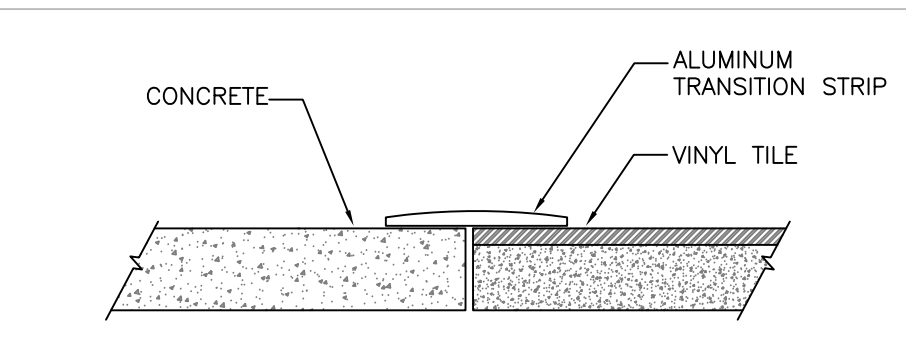
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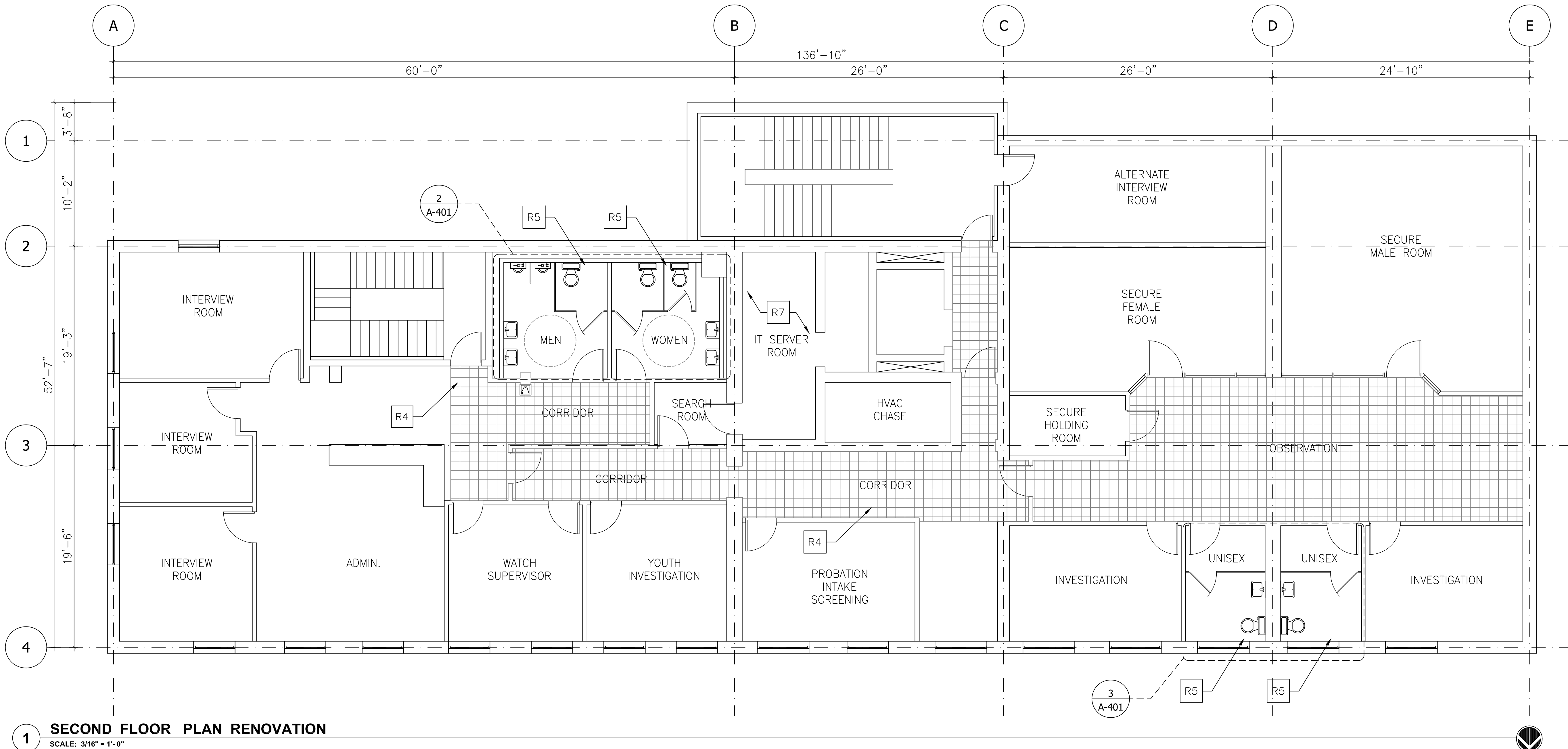
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1 SECOND FLOOR PLAN RENOVATION

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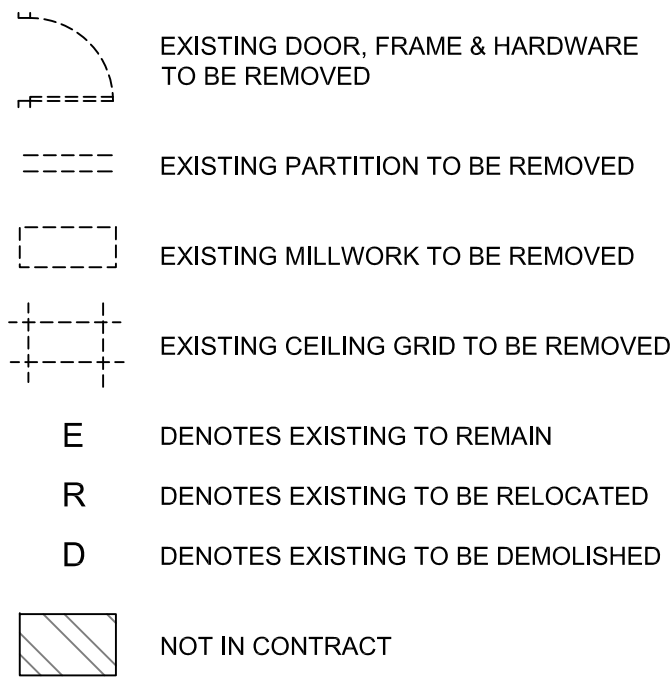
SECOND FLOOR PLAN RENOVATION

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A-102R



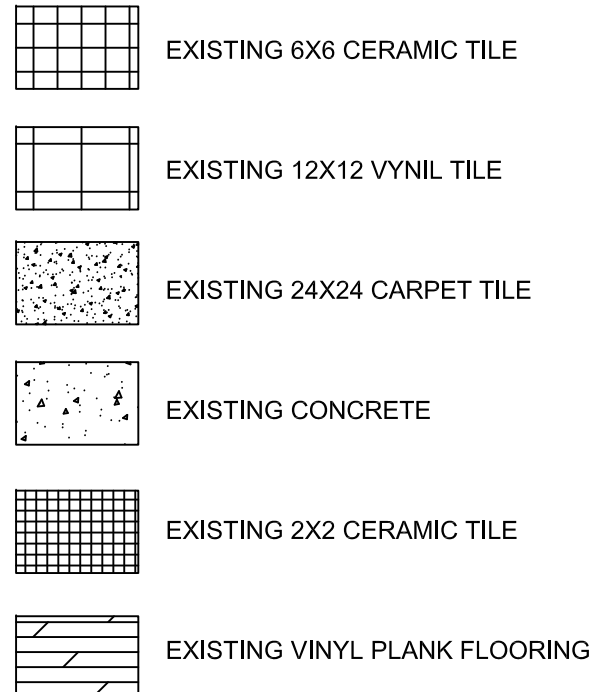
### DEMOLITION LEGEND



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- CONTRACTOR SHALL COMMUNICATE WITH OWNER'S REPRESENTATIVE THE SCHEDULE FOR ALL ACTIVITIES WHICH COULD POTENTIALLY IMPACT THE OWNER'S OPERATION SUCH AS MOVEMENT OF MATERIALS AND EQUIPMENT OUTSIDE OF THE PROJECT SPACE. INTERRUPTIONS IN THE UTILITY SERVICE, ETC. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO BEGINNING SUCH ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING AND PEDESTRIANS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR TO REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.

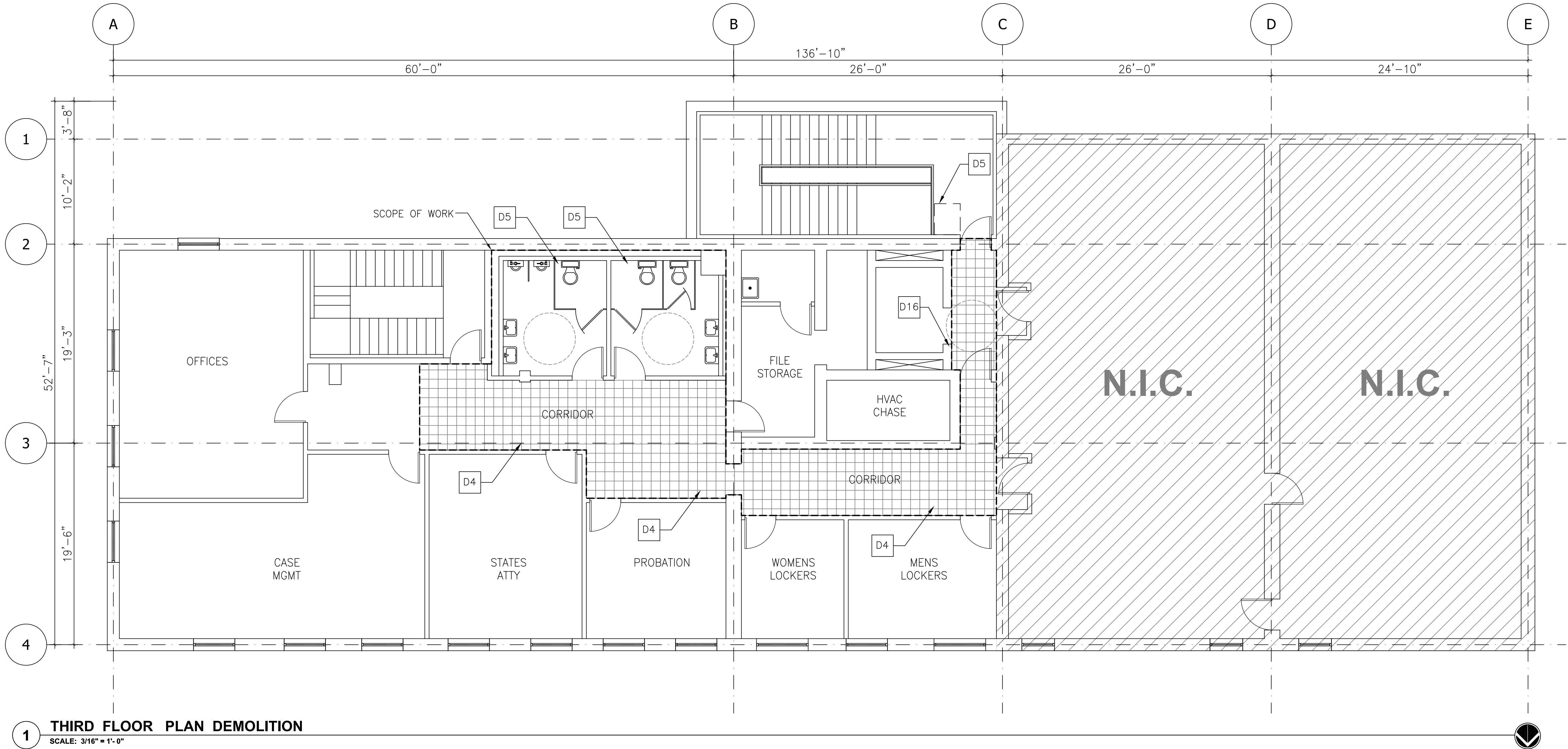
### EXISTING FINISH FLOOR LEGEND



DEMOLITION NOTE: REMOVE BUBBLED AREAS AND DISPOSE OFF PROPERLY

### DEMOLITION KEY NOTES

- BASEMENT SCOPE OF WORK**
- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL
- MOISTURE SATURATION
- D2 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PLUMBING PIPING, THUS: ALLOWANCES 3K
- D3 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PARTS FOR SUMP PUMP
- D3A REMOVE AND DISPOSE OFF PROPERLY SUMP PUMP
- INTERIOR**
- D4 CORRIDOR FINISH FLOOR  
REMOVE EXISTING VCT FLOOR FINISH & DISPOSE OF PROPERLY  
REMOVE 10% OF DAMAGED SUBSTRATE
- D5 MEN & WOMEN RESTROOM  
REMOVE EXISTING PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTION.  
REMOVE EXISTING DAMAGED WORN OUT OLD FINISHES, VCT FLOORING AND CT/ PAINTED WALLS & CEILINGS.
- D6 EXTERIOR FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
FRAMES, DOORS & HARDWARE IN POOR SHAPE BUT OPERATING CONDITIONS. REMOVE EXTERIOR 101 & 102 FRAMES, DOORS & HARDWARE & DISPOSE OF PROPERLY
- D7 IT SERVER ROOM: REMOVE ALL EFFLORESCENCE AND ROOF LEAK DAMAGE FROM UPPER FLOOR EXPOSED WOOD STRUCTURE & MASONRY SIDE WALLS & DISPOSE OF PROPERLY, CLEAN THOROUGHLY.
- D8 ROOF HATCH OPENING: REMOVE ROOF ASSEMBLY AREA FOR NEW ROOF HATCH LOCATION
- D9 BITUMEN ROOFING SYSTEM COMPLETE DEMO: REMOVE & DISPOSE OF PROPERLY AREA IS 000 SF.
- D10 PARAPET WALL & COPING: REMOVE & DISPOSE OF PROPERLY DAMAGED/ CRACKED 12 BRICK COURSES AT FACADE SIDE AND COPING AT THAT AREA AND DISPOSE OF PROPERLY.
- MECHANICAL**
- D11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
- D12 ROOF:  
ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.
- UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY.REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.
- ADD SAFETY RAILINGS IN THE PARAPET LEDGE.
- ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.
- FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.
- FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.
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- ADD SAFETY RAILINGS IN THE PARAPET LEDGE.
- ELECTRICAL**
- D13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.
- D14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).
- D15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.
- D16 ELEVATOR CONTROLS SHALL BE UPGRADED.
- D17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.
- D18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.



## JUVENILE DETENTION CENTER

3900 S. CALIFORNIA AVE.  
CHICAGO, IL 60632

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Food Service Consultant

Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438

Title  
**THIRD FLOOR PLAN  
DEMOLITION**

Sheet  
**A-103D**



EXIT SUMMARY

MINIMUM EXIT DOOR SEPARATION	
ACTUAL EXIT DOOR SEPARATION	
MAXIMUM ALLOWABLE TRAVEL DISTANCE	
MAXIMUM ACTUAL TRAVEL DISTANCE	
INDICATES TRAVEL DISTANCE	→

GENERAL NOTES

- FOR DOOR AND SECURITY SCOPE OF WORK, SEE DOOR & HARDWARE SCHEDULE WHEN 75% OF CONSTRUCTION IS COMPLETED AND BEFORE ANY DRYWALL AND/OR FINISH SURFACES ARE APPLIED. CONTRACTOR SHALL SCHEDULE AN ADA INSPECTION WITH THE BUILDING INSPECTOR FOR A WALKTHROUGH OF THIS FACILITY.
- FOR ELECTRICAL WORK, SEE ELECTRICAL DRAWINGS & SPECIFICATIONS.
- CONNECT ROOF DRAIN PIPES TO STORM DRAINAGE.
- ALL WORK TO COMPLY WITH ADA, 28 CFR PART 36, SUBPART C.

WALL SURFACE FINISH KEY

PNT-1	COLORS PER OWNER
PNT-2	COLORS PER OWNER
PNT-3	COLORS PER OWNER

NOTES

- SOFFIT, GYP BOARD CEILING PNT-1 IN EGGSHELL FINISH
- TRIM PNT-1 IN A SEMI-GLOSS FINISH
- WALL COLORS DESIGNATION PNT1 & PNT-2 WILL BE DETERMINED BY OWNER
- CEILING TO BE PNT-3 (WHITE) EGGSHELL FINISH

FLOOR & BASE FINISH KEY

	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED

NOTES

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
- SEAL TILE AND GROUT AS EARLY AS POSSIBLY FOLLOWING INSTALLATION.
- FINISH GROUT LEVEL TO TILE SURFACE.
- ALIGN CERAMIC WALL BASE GROUT LINES WITH FLOORING GROUT LINES.
- PAINTING CONTRACTOR TO PAINT HVAC GRILLES TO MATCH ADJACENT SURFACE.
- FLOORING CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIM TO ALL FLOORING FINISHES.

FINISH KEY

CERAMIC TILE GROUT	TO BE DETERMINED
SOLID SURFACE (SS-1)	TO BE DETERMINED
WOOD FINISH (WD-1)	TO BE DETERMINED
PLASTIC LAMINATE (PL-2)	TO BE DETERMINED

RENOVATION KEY NOTES

BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION, PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL.
- R2 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K
- R3 REPAIR SUM PUMP
- R3A REPLACE SUM PUMP

INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR: PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER. PROVIDE 10% NEW SUBSTRATE IN KIND.
- R5 NEW MEN & WOMEN RESTROOMS: PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS. INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTIONS. PROVIDE NEW FINISHES: COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.
- R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR) PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE
- R7 IT SERVER ROOM: CLEAN AND PREPARE SURFACES, INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 Hr. FIRE ENCLOSURE. PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.
- R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.
- R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C. AREA 3,199 SF. FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,788 SF)
- R9 REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.
- R10 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

MECHANICAL

- R11 BASEMENT: ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING. ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
- R12 ROOF: ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY. REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

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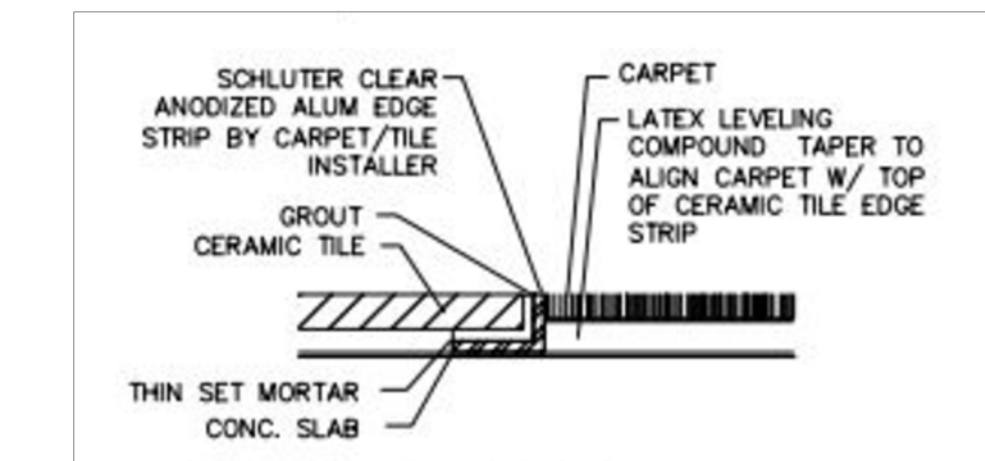
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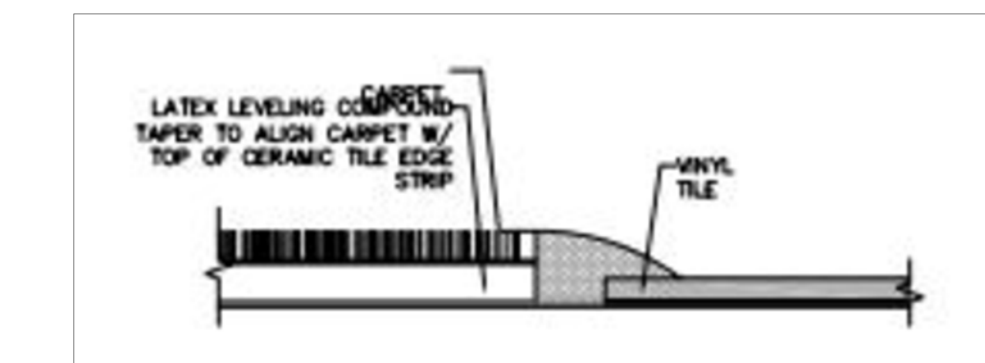
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ELECTRICAL

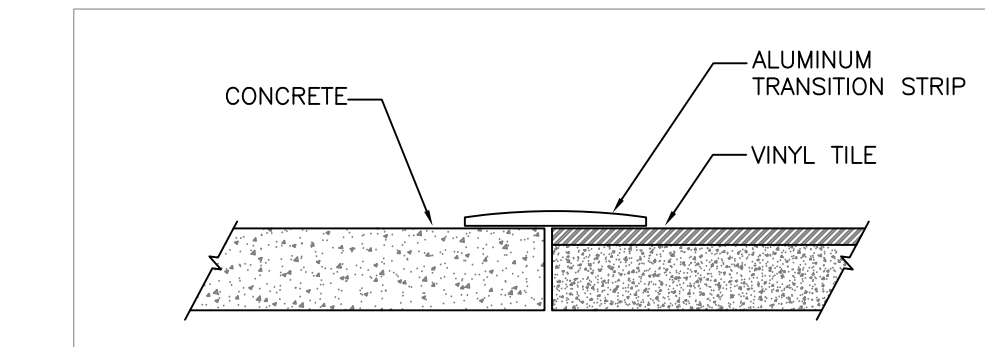
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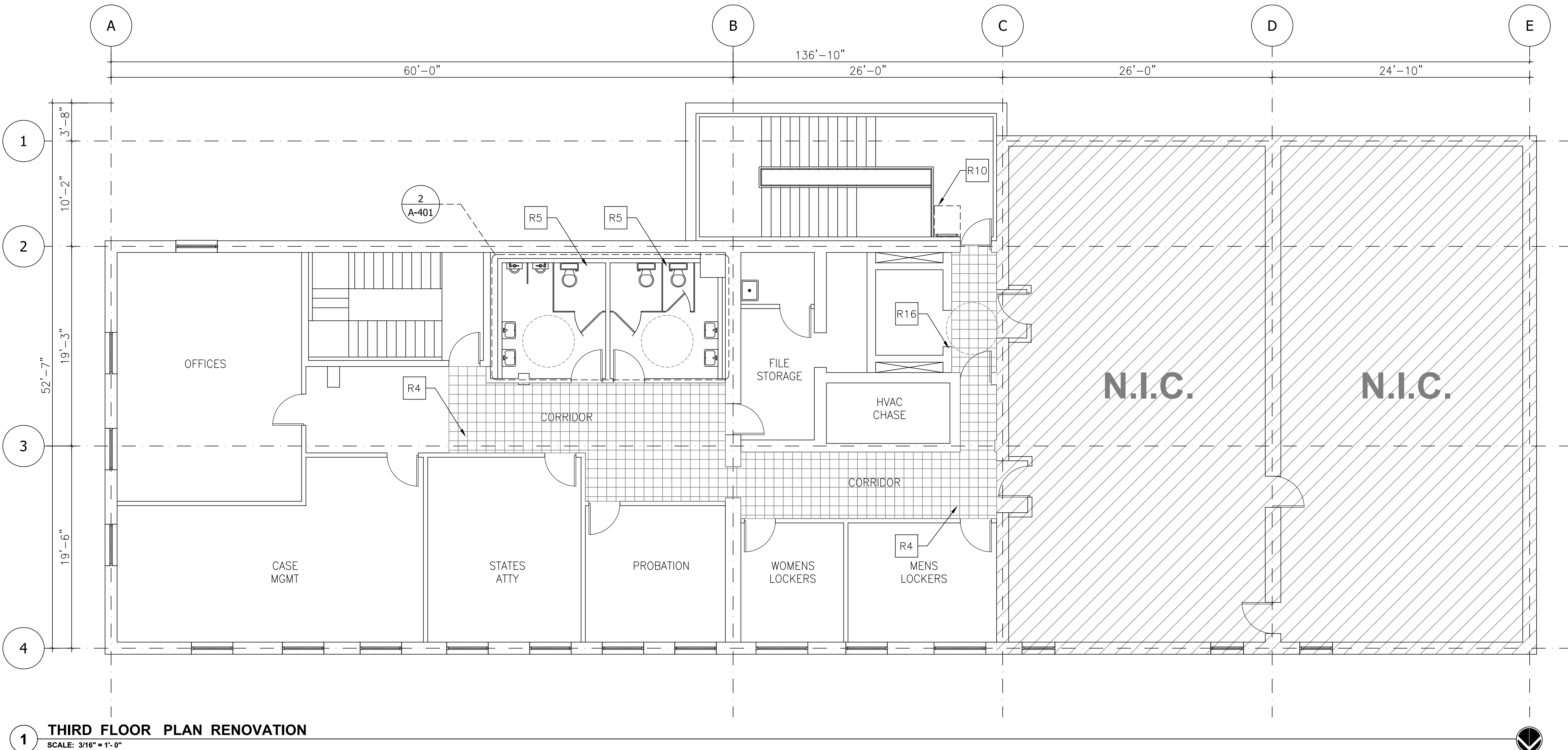
4 CERAMIC TILE / CPT TRANSITION  
SCALE: NTS.



3 VINYL TILE / CPT TRANSITION  
SCALE: NTS.



2 VINYL TILE / CONCRETE TRANSITION  
SCALE: NTS.



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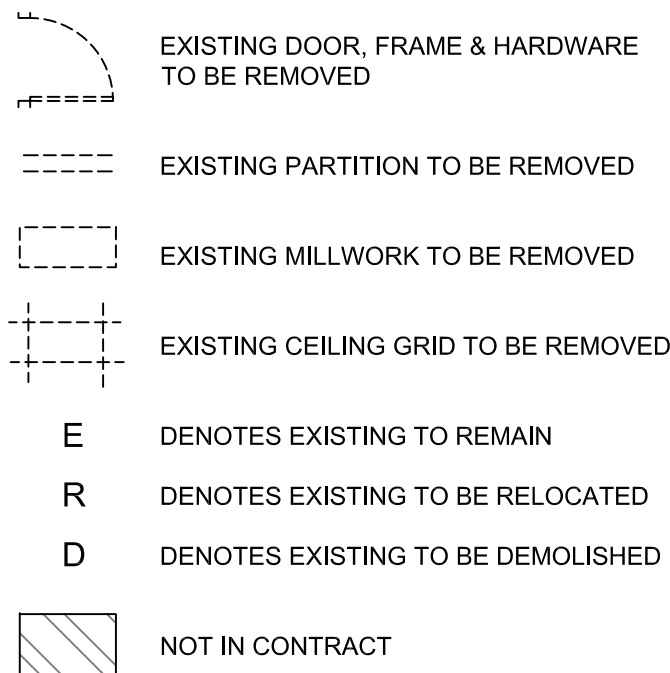
PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No: 00000  
Project No.: 5438  
Title  
**THIRD FLOOR PLAN RENOVATION**

Sheet

A-103R



DEMOLITION LEGEND

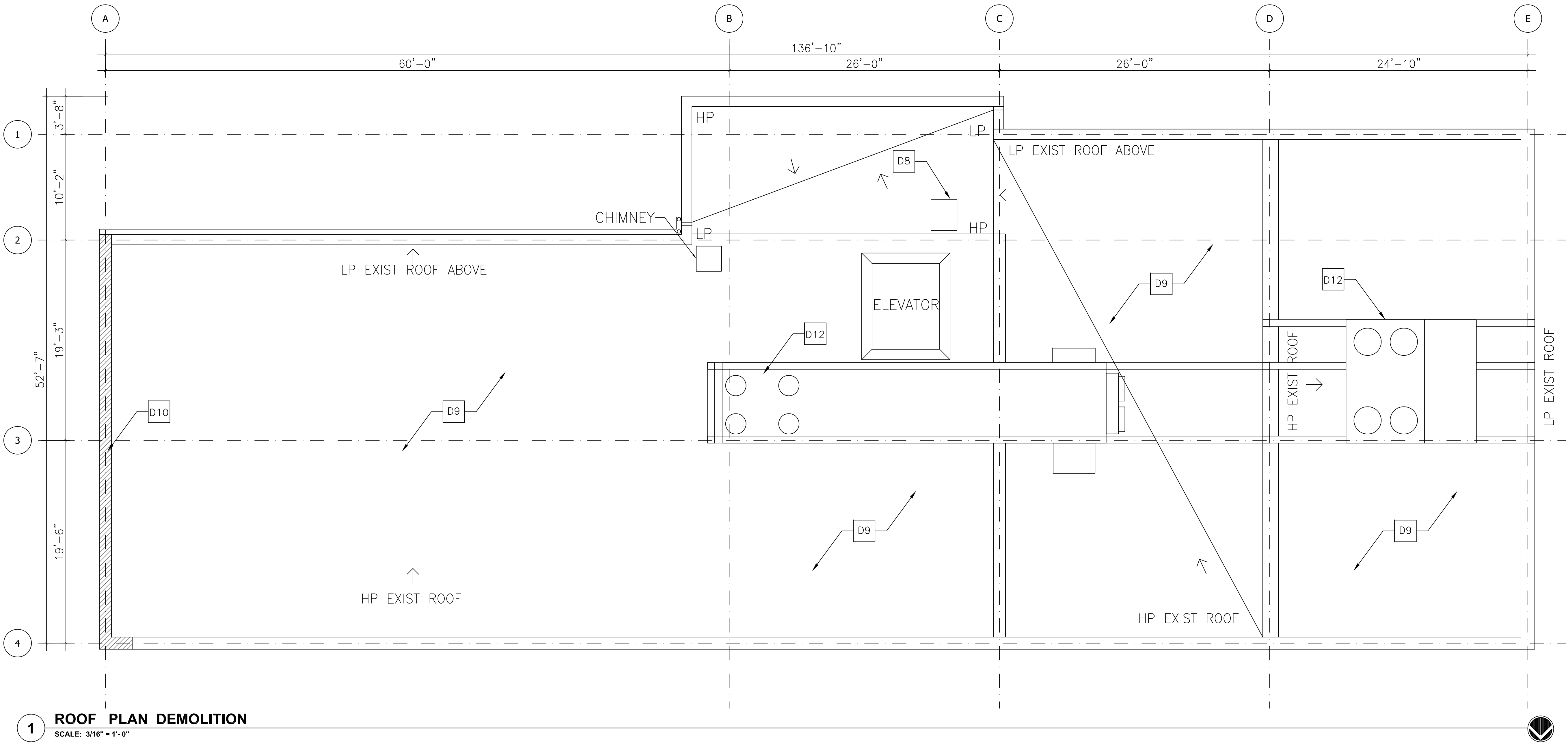


GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE INDICATED, EXISTING CONSTRUCTION SHALL REMAIN. CONSTRUCTION TO BE REMOVED IS INDICATED WITH A DASHED LINE, HATCHED AND/OR NOTED TO BE REMOVED.
- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT CONTRACTOR'S EXPENSE.
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
- WHERE CONSTRUCTION IS TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING OF ADJACENT CONSTRUCTION TO REMAIN AND REFINISHING ADJACENT CONSTRUCTION TO MATCH EXISTING.
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REMOVE EXISTING PLUMBING FIXTURES:  
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1 ROOF PLAN DEMOLITION  
SCALE: 3/16" = 1'-0"



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PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438

Title  
ROOF PLAN  
DEMOLITION

Sheet  
A-104D

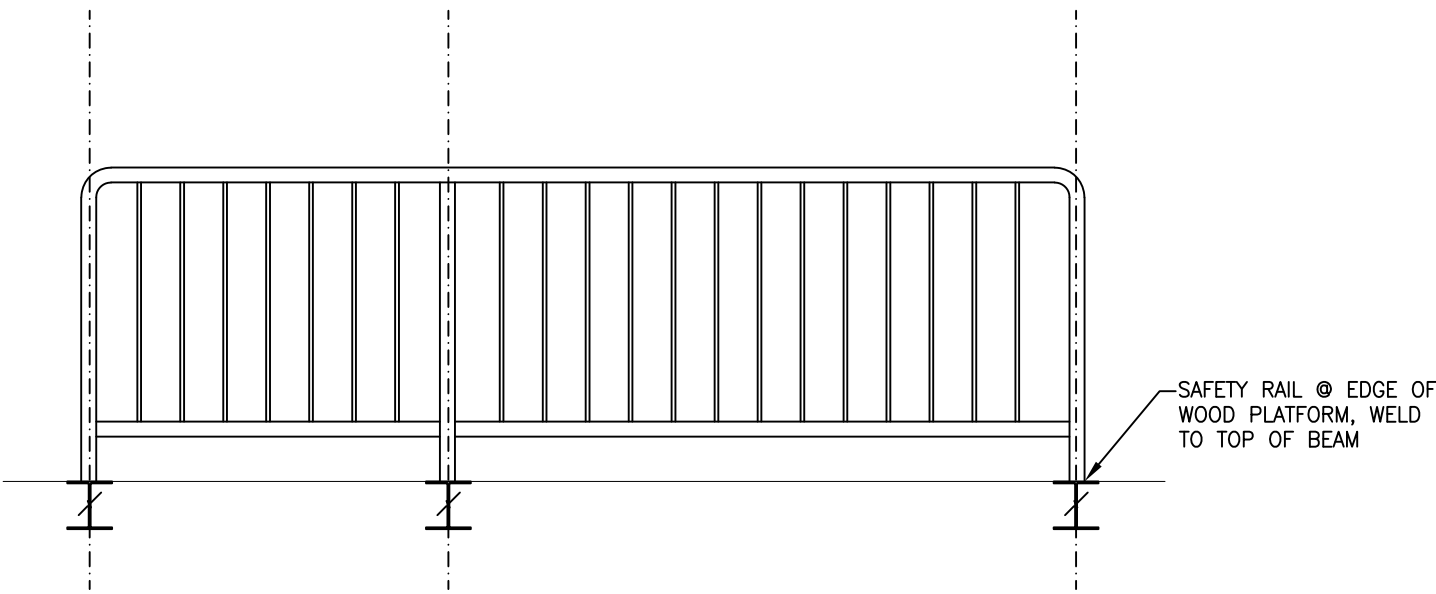


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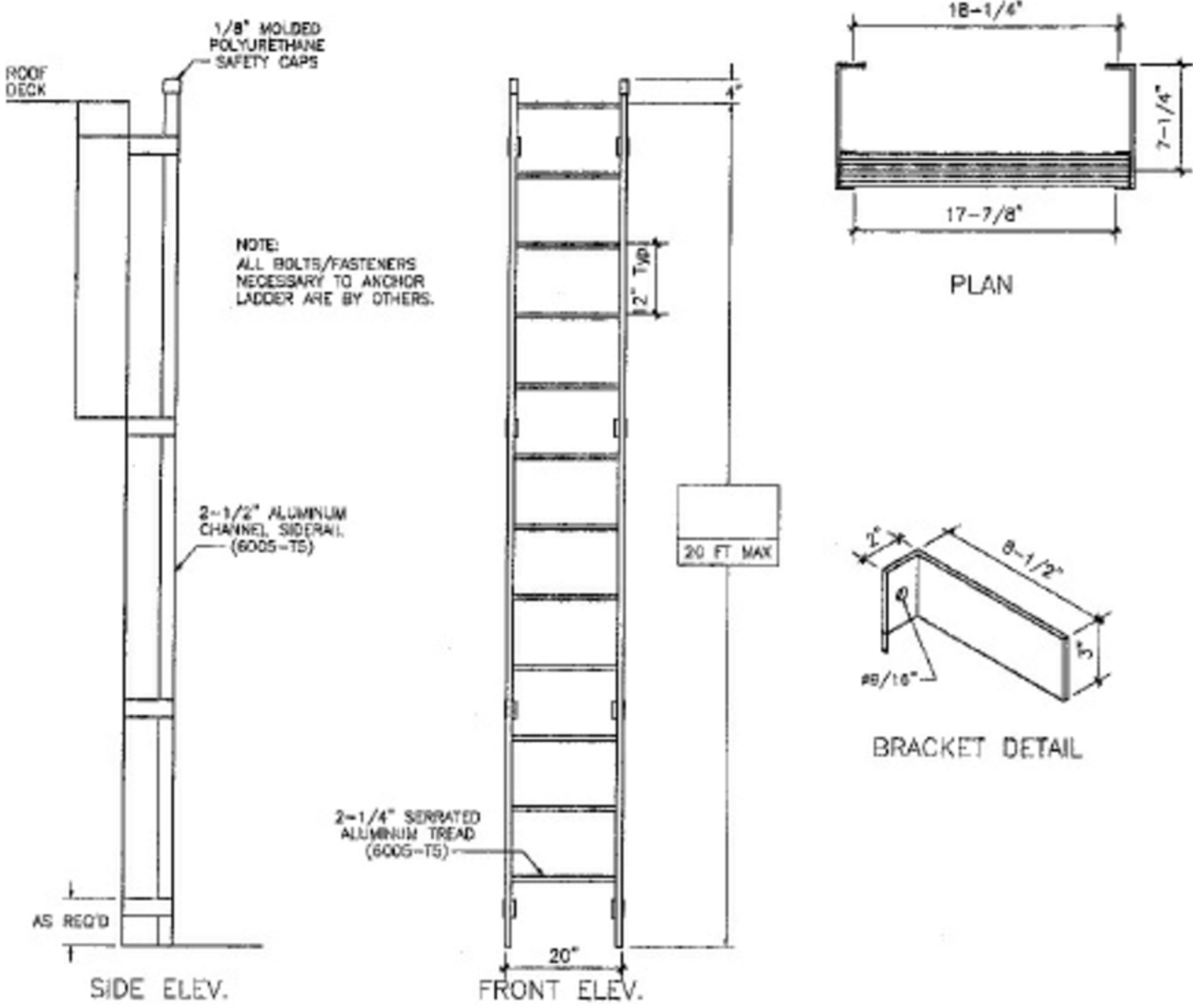
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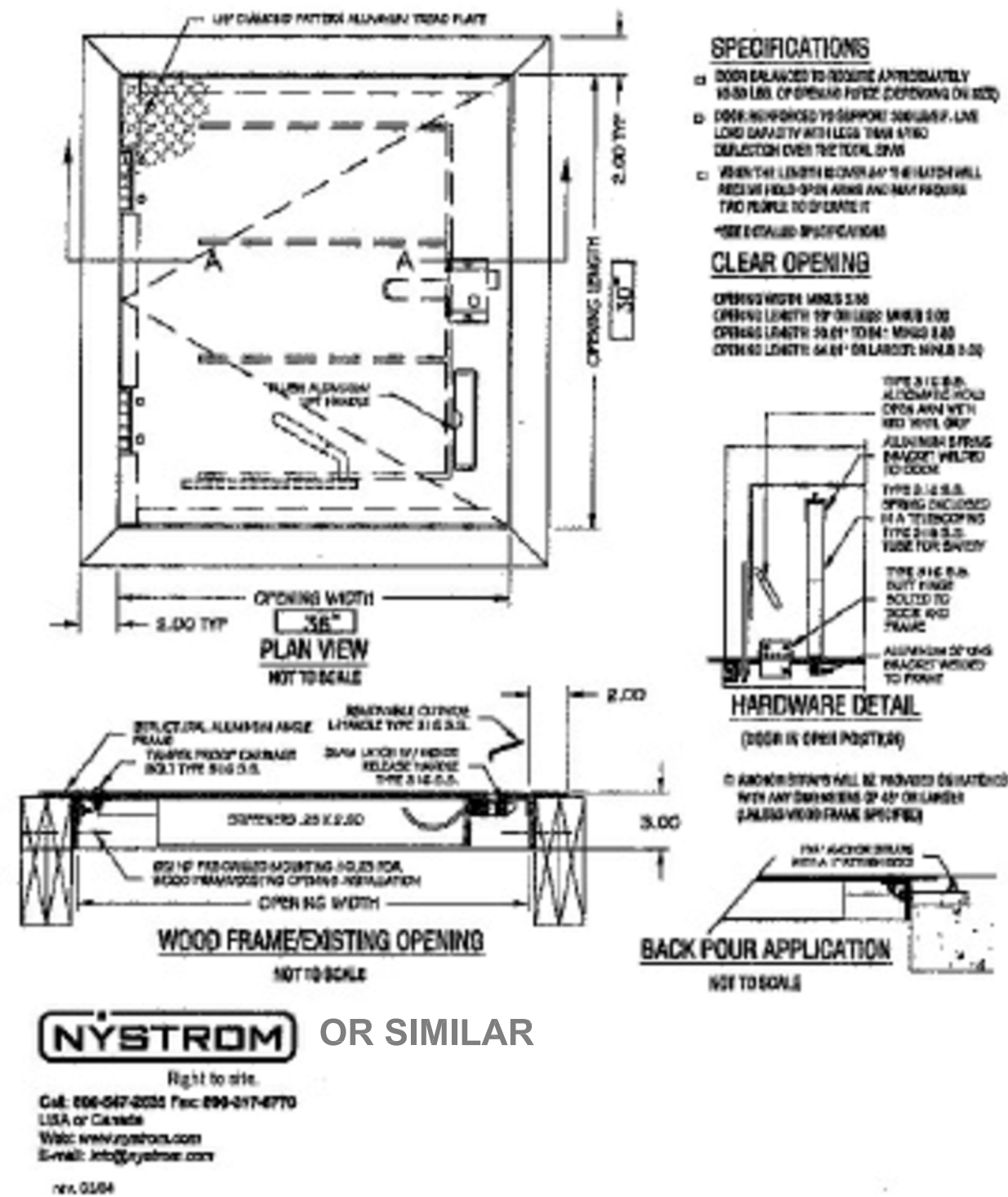
5 SAFETY RAIL ELEVATION

SCALE: N.T.S.



2 LADDER DETAILS

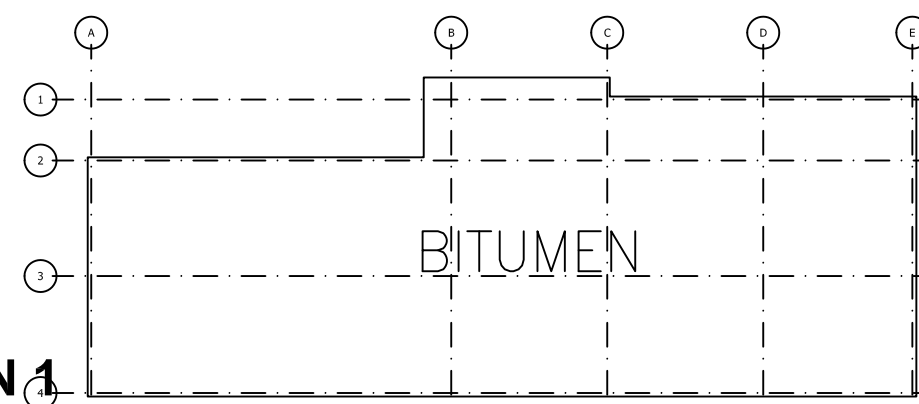
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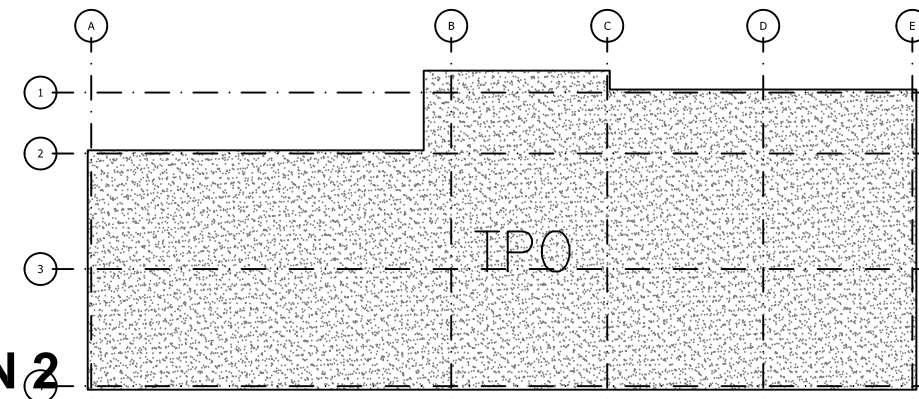
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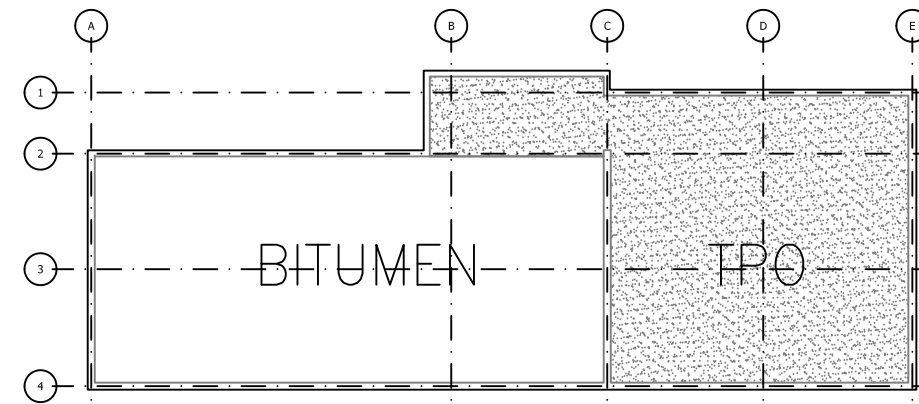
OPTION 1



OPTION 2



OPTION 3



4 NEW ROOFING SYSTEM OPTIONS

SCALE: N.T.S.

RENOVATION KEY NOTES

BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION.  
R2 PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL BY OWNER.  
R3 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K  
R3A REPLACE SUM PUMP

INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR: PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER.  
R5 PROVIDE 10% NEW SUBSTRATE IN KIND.  
R5 NEW MEN & WOMEN RESTROOMS: PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTIONS. PROVIDE NEW FINISHES: COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.  
R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR) PROVIDE NEW & INSTALL EXTERIOR 2 HR. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT  
R7 PROVIDE NEW & INSTALL EXTERIOR 2 HR. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE.  
R7 IT SERVER ROOM: CLEAN AND PREPARE SURFACES, INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 HR. FIRE ENCLOSURE.  
R7 PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.  
R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.  
R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.  
R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C, AREA 3,199 SF. FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,768 SF).  
R9 PARAPET WALL: REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.  
R10 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

MECHANICAL

- R11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.

- R12 ROOF:  
ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

- UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY. REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

- ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

- ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

- FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

- FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.

- UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY. REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

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ELECTRICAL

- R13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.

- R14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).

- R15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.

- R16 ELEVATOR CONTROLS SHALL BE UPGRADED.

- R17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.

- R18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.



JUVENILE DETENTION

CENTER

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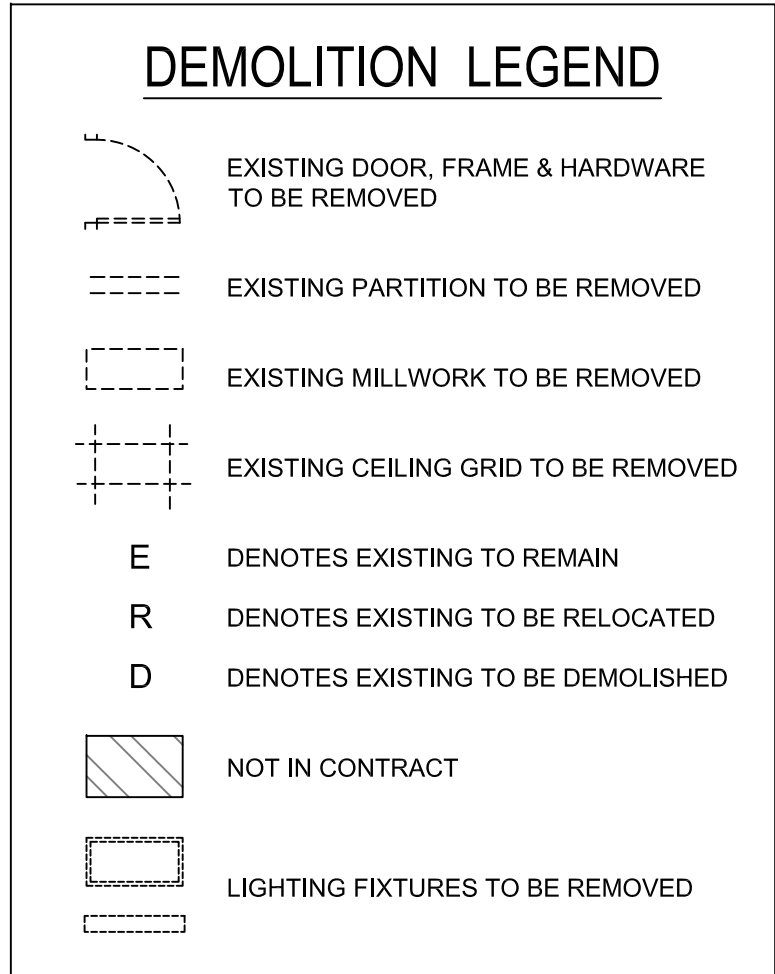
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PBC Contract No.: 00000  
Project No.: 5438  
Title

ROOF PLAN RENOVATION

Sheet

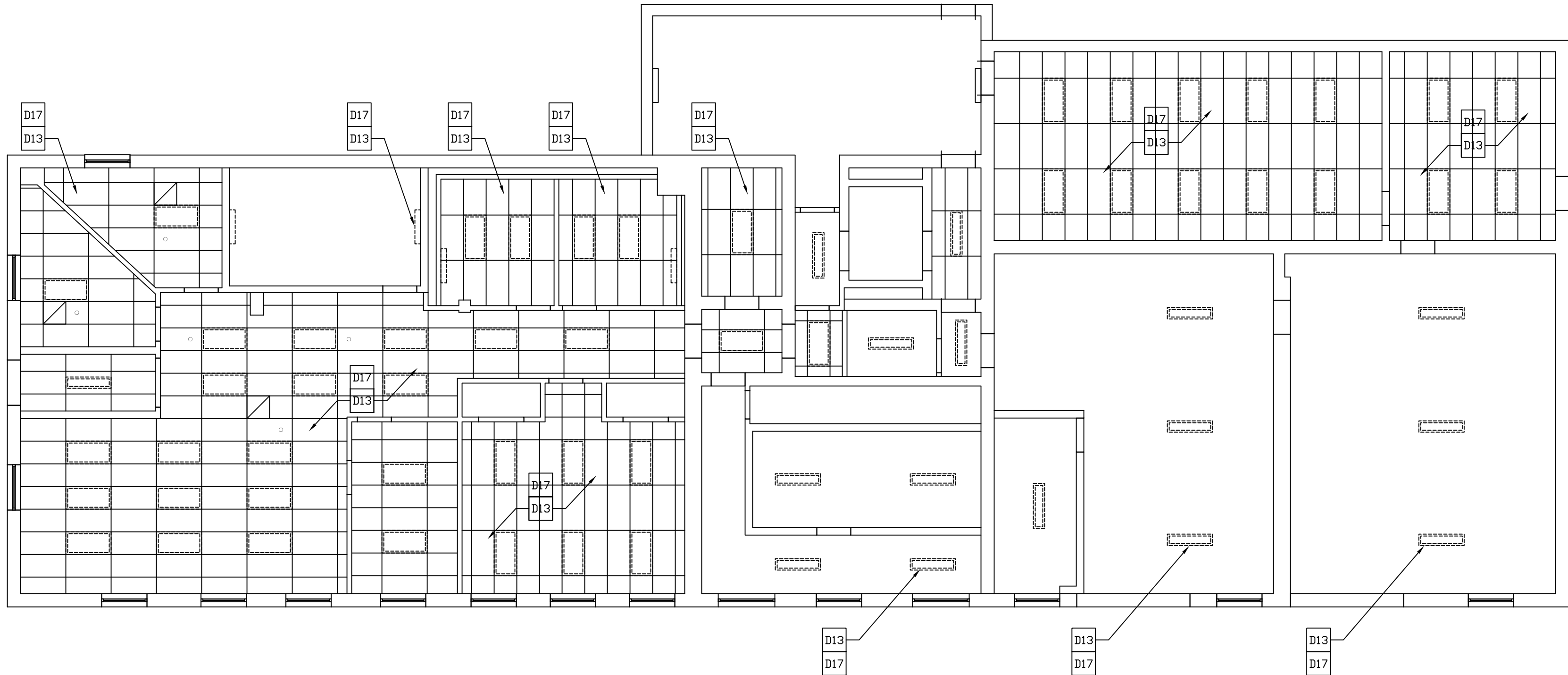
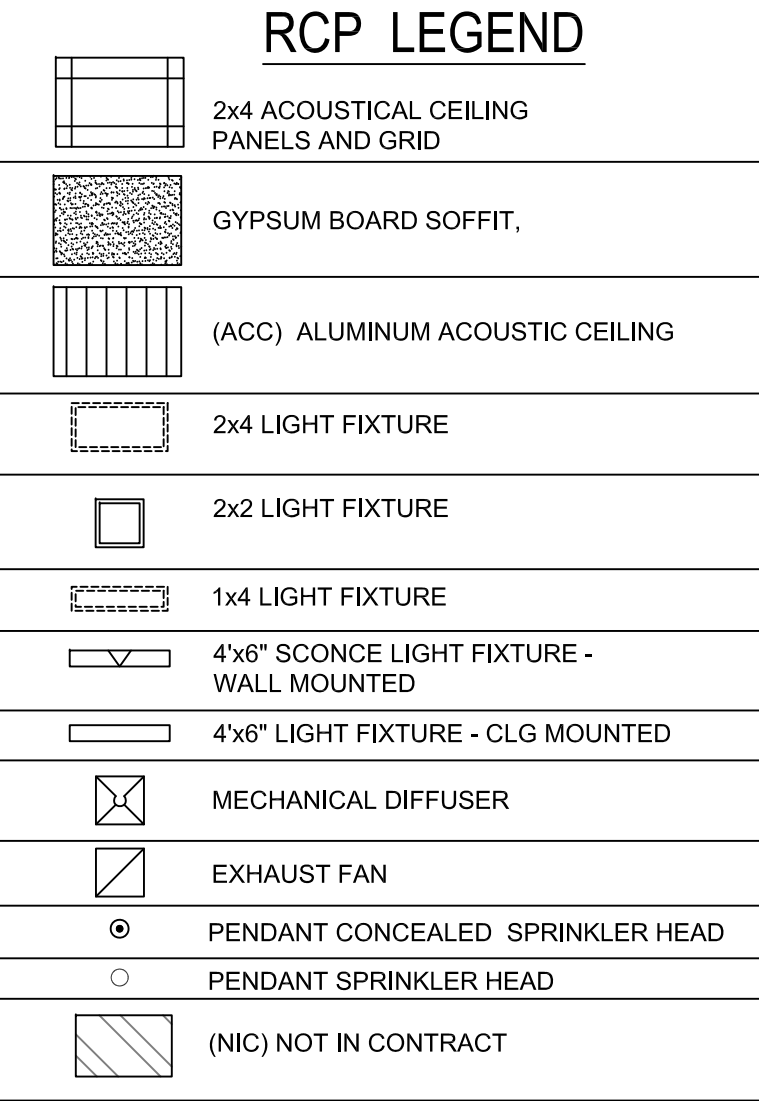
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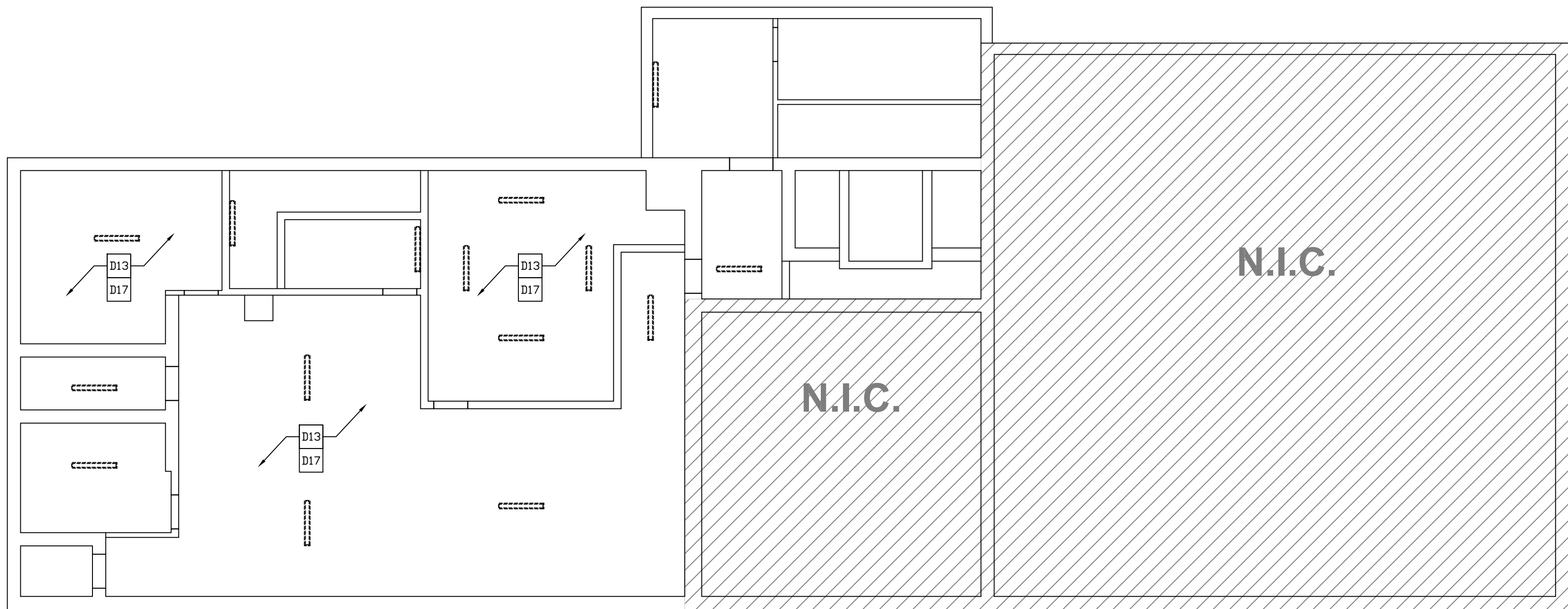
**GENERAL DEMOLITION NOTES**

- UNLESS OTHERWISE INDICATED, EXISTING CONSTRUCTION SHALL REMAIN. CONSTRUCTION TO BE REMOVED IS INDICATED WITH A DASHED LINE, HATCHED AND/OR NOTED TO BE REMOVED.
- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT CONTRACTOR'S EXPENSE.
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
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- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.



**2 FIRST FLOOR REFLECTED CEILING PLAN, DEMOLITION**

SCALE:  $\frac{1}{8}" = 1'-0"$



**1 BASEMENT REFLECTED CEILING PLAN, DEMOLITION**

SCALE:  $\frac{1}{8}" = 1'-0"$

NOTE: FOR SCOPE OF WORK, SEE ELECTRICAL FLOOR PLANS

**DEMOLITION KEY NOTES**

**BASEMENT SCOPE OF WORK**

- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL MOISTURE SATURATION
- D2 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PLUMBING PIPING, THUS: ALLOWANCES 3K
- D3 REMOVE AND DISPOSE OFF PROPERLY DAMAGED PARTS FOR SUMP PUMP
- D3A REMOVE AND DISPOSE OFF PROPERLY SUMP PUMP

**INTERIOR**

- D4 CORRIDOR FINISH FLOOR  
REMOVE EXISTING VCT FLOOR FINISH & DISPOSE OF PROPERLY  
REMOVE 10% OF DAMAGED SUBSTRATE
- D5 MEN & WOMEN RESTROOM  
REMOVE EXISTING PLUMBING FIXTURES:  
3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND OR FLOOR CONNECTION.  
REMOVE EXISTING DAMAGED WORN OUT OLD FINISHES, VCT FLOORING AND CT/ PAINTED WALLS & CEILINGS.
- D6 EXTERIOR FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR)  
FRAMES, DOORS & HARDWARE IN POOR SHAPE BUT OPERATING CONDITIONS. REMOVE EXTERIOR 101 & 102 FRAMES, DOORS & HARDWARE & DISPOSE OF PROPERLY
- D7 IT SERVER ROOM: REMOVE ALL EFFLORESCENCE AND ROOF LEAK DAMAGE FROM UPPER FLOOR EXPOSED WOOD STRUCTURE & MASONRY SIDE WALLS & DISPOSE OF PROPERLY, CLEAN THOROUGHLY.
- D8 ROOF HATCH OPENING: REMOVE ROOF ASSEMBLY AREA FOR NEW ROOF HATCH LOCATION
- D9 BITUMEN ROOFING SYSTEM COMPLETE DEMO: REMOVE & DISPOSE OF PROPERLY AREA IS 000 SF.
- D10 PARAPET WALL & COPING: REMOVE & DISPOSE OF PROPERLY DAMAGED/ CRACKED 12 BRICK COURSES AT FACADE SIDE AND COPING AT THAT AREA AND DISPOSE OF PROPERLY.

**MECHANICAL**

- D11 BASEMENT:  
ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING.  
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Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 5438

Title  
**BASEMENT & FIRST FLOOR RCP DEMOLITION**

Sheet

**A-200D**



DEMOLITION LEGEND

EXISTING DOOR, FRAME & HARDWARE  
TO BE REMOVED

EXISTING PARTITION TO BE REMOVED

EXISTING MILLWORK TO BE REMOVED

EXISTING CEILING GRID TO BE REMOVED

E

DENOTES EXISTING TO REMAIN

R

DENOTES EXISTING TO BE RELOCATED

D

DENOTES EXISTING TO BE DEMOLISHED

NOT IN CONTRACT

LIGHTING FIXTURES TO BE REMOVED

GENERAL DEMOLITION NOTES

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4. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT CONTRACTOR'S EXPENSE.
5. REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
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RCP LEGEND

2x4 ACOUSTICAL CEILING  
PANELS AND GRID

GYPSUM BOARD SOFFIT,

(ACC) ALUMINUM ACOUSTIC CEILING

2x4 LIGHT FIXTURE

2x2 LIGHT FIXTURE

1x4 LIGHT FIXTURE

4"x6" SCONCE LIGHT FIXTURE -  
WALL MOUNTED

4"x6" LIGHT FIXTURE - CLG MOUNTED

MECHANICAL DIFFUSER

EXHAUST FAN

PENDANT CONCEALED SPRINKLER HEAD

PENDANT SPRINKLER HEAD

(NIC) NOT IN CONTRACT

NOTE: FOR SCOPE OF WORK, SEE ELECTRICAL  
FLOOR PLANS

DEMOLITION KEY NOTES

- BASEMENT SCOPE OF WORK
- D1 REMOVE AND DISPOSE OFF PROPERLY ALL EFFLORESCENCE (CRYSTALLINE SALTS) PRODUCED FROM MASONRY WALL MOISTURE SATURATION
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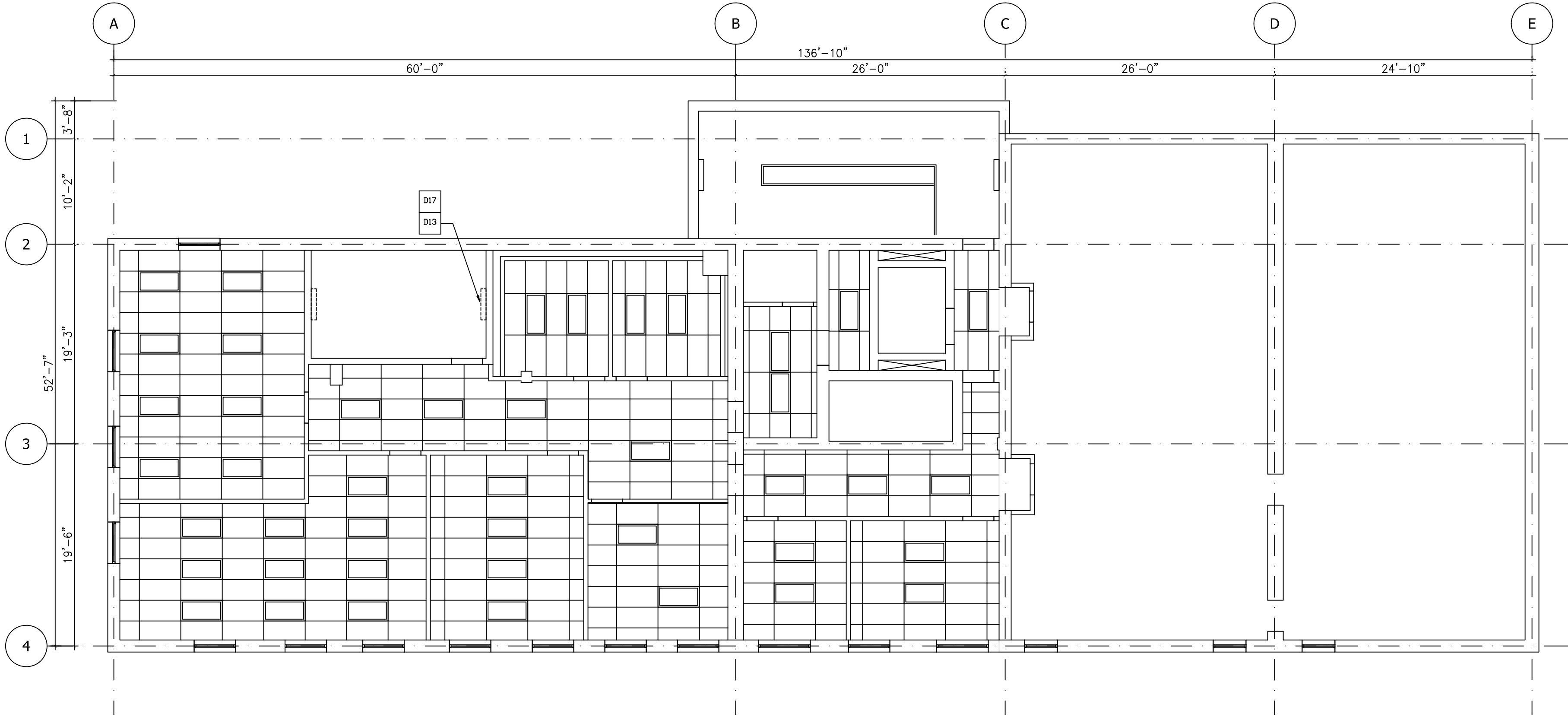
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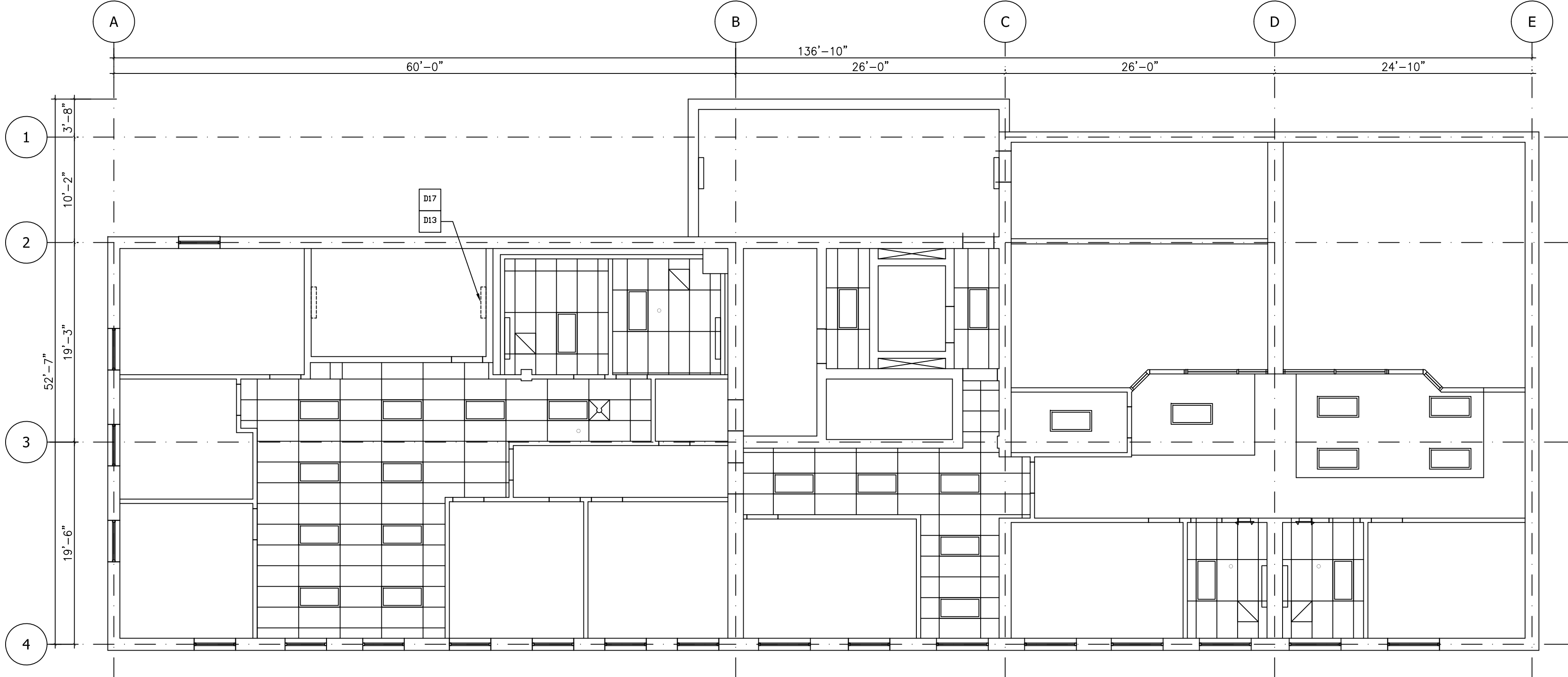
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THIRD FLOOR REFLECTED CEILING PLAN DEMOLITION

SCALE:  $\frac{3}{8}" = 1'-0"$



SECOND FLOOR REFLECTED CEILING PLAN DEMOLITION

SCALE:  $\frac{3}{8}" = 1'-0"$



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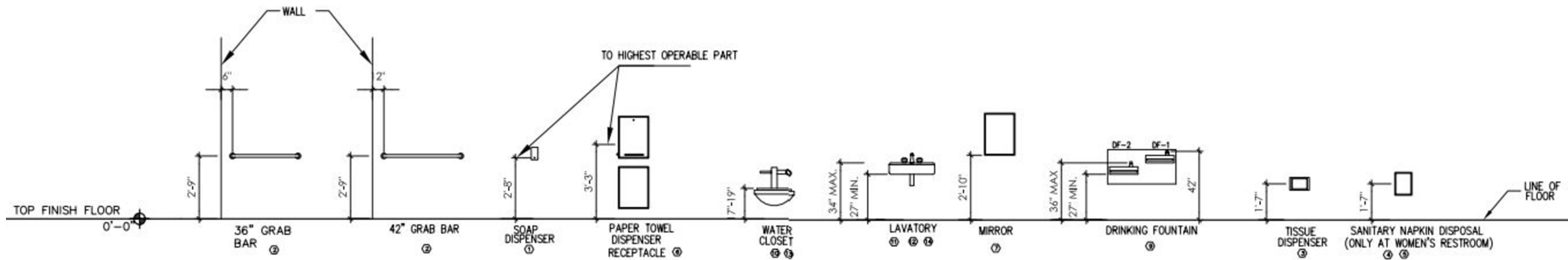
PBC Project Name: JUVENILE DETENTION CENTER  
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Title  
SECOND & THIRD  
FLOOR RCP  
DEMOLITION

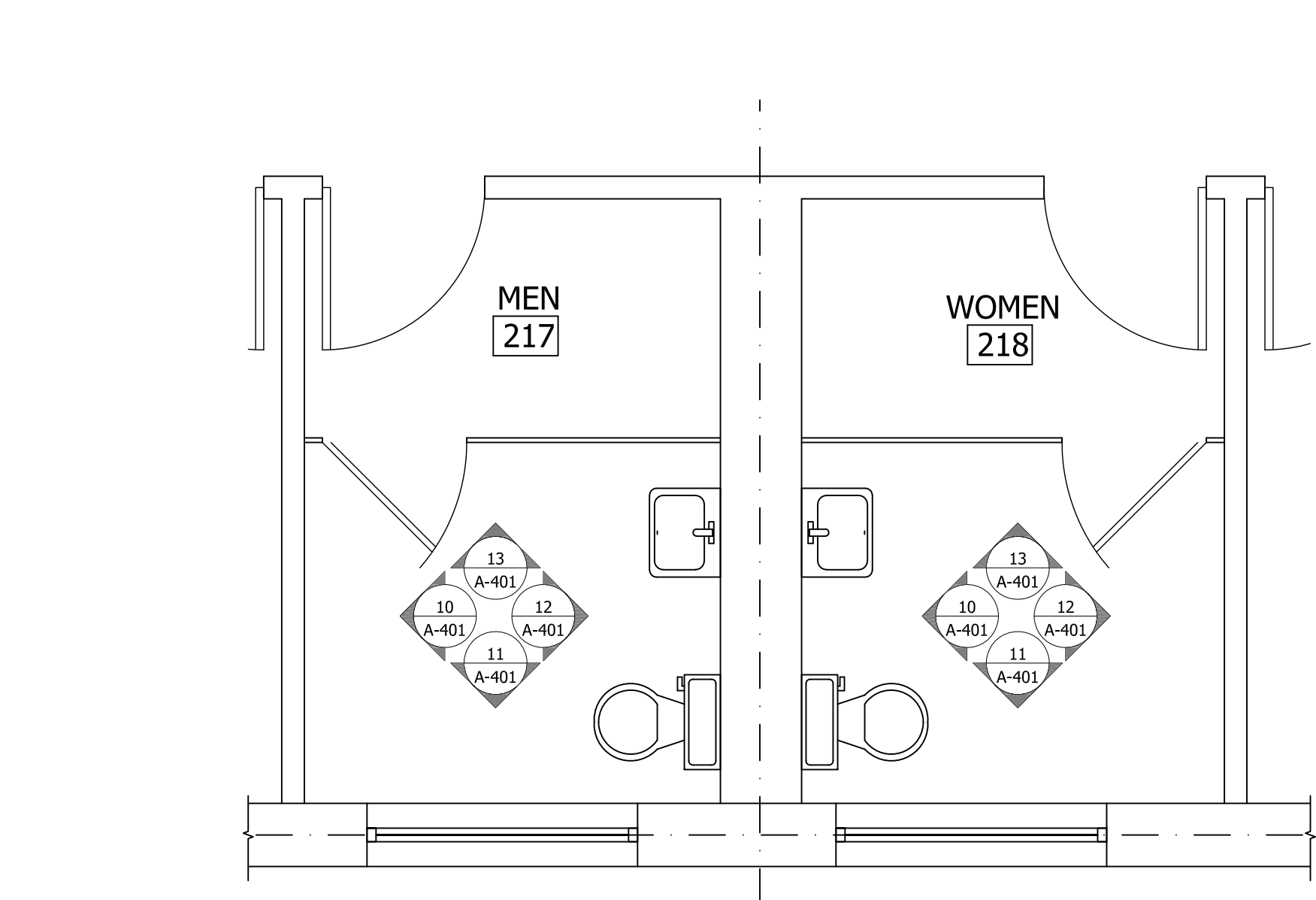
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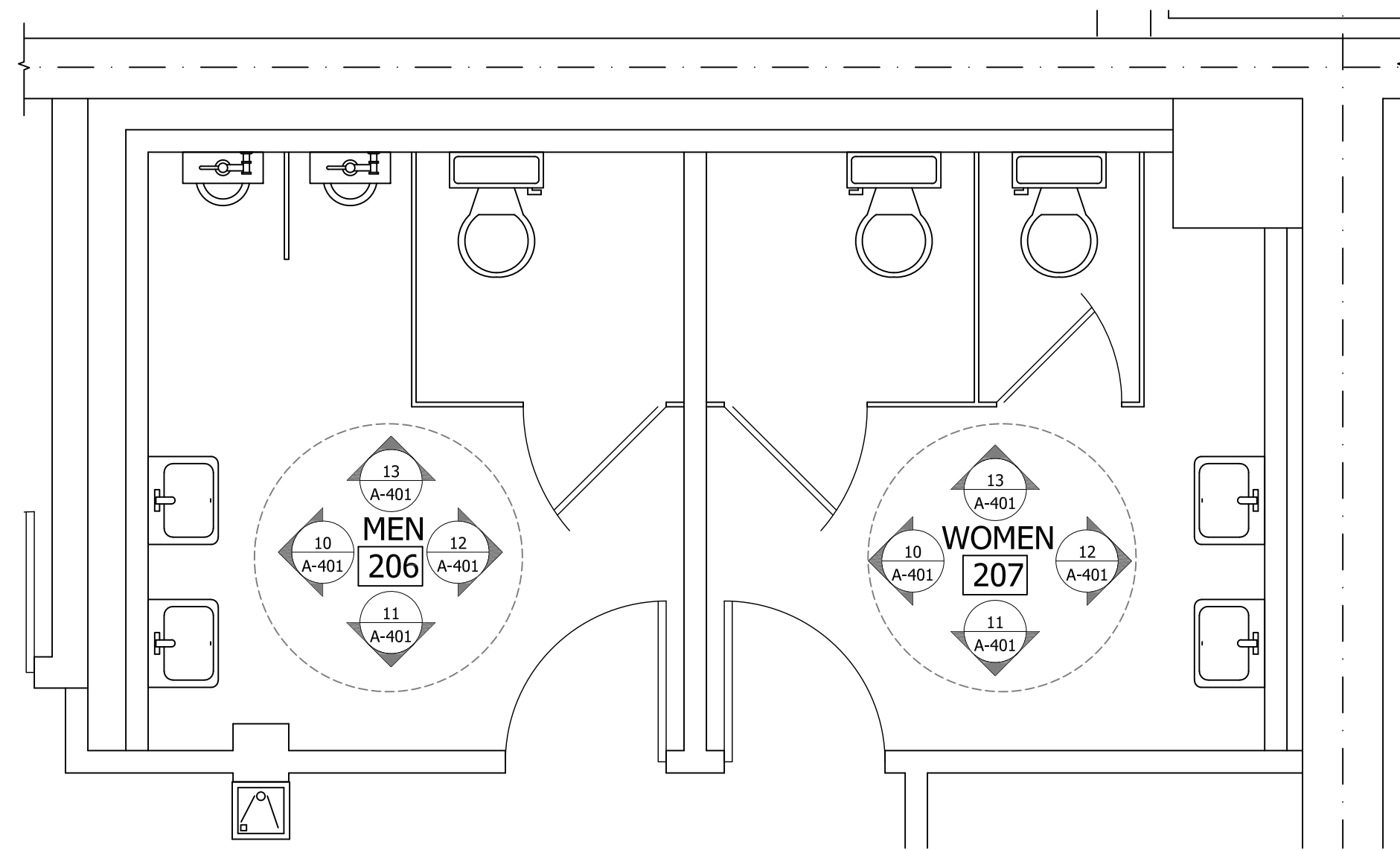




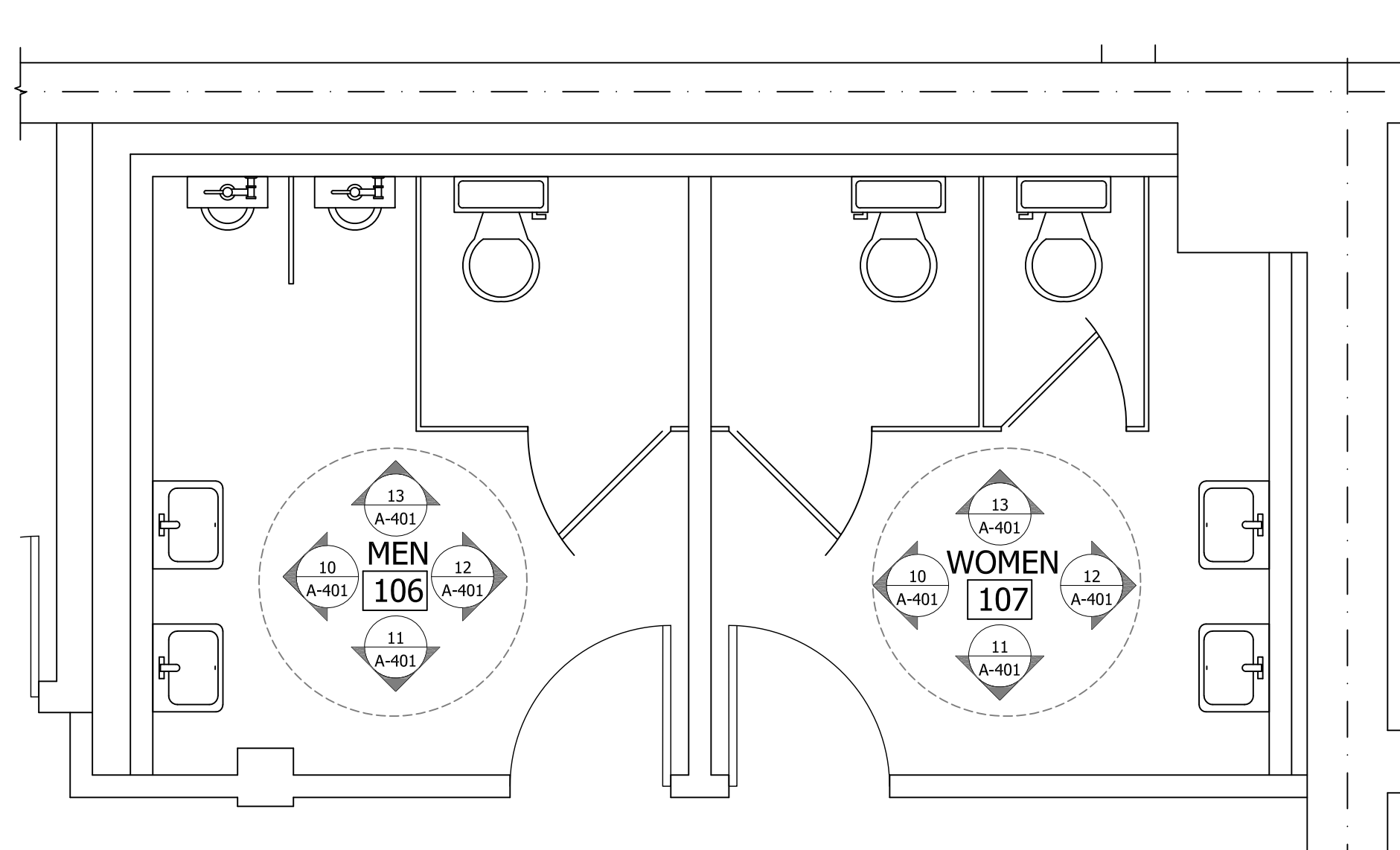
28 TOILET FIXTURES AND ACCESSORIES MOUNTING HEIGHTS



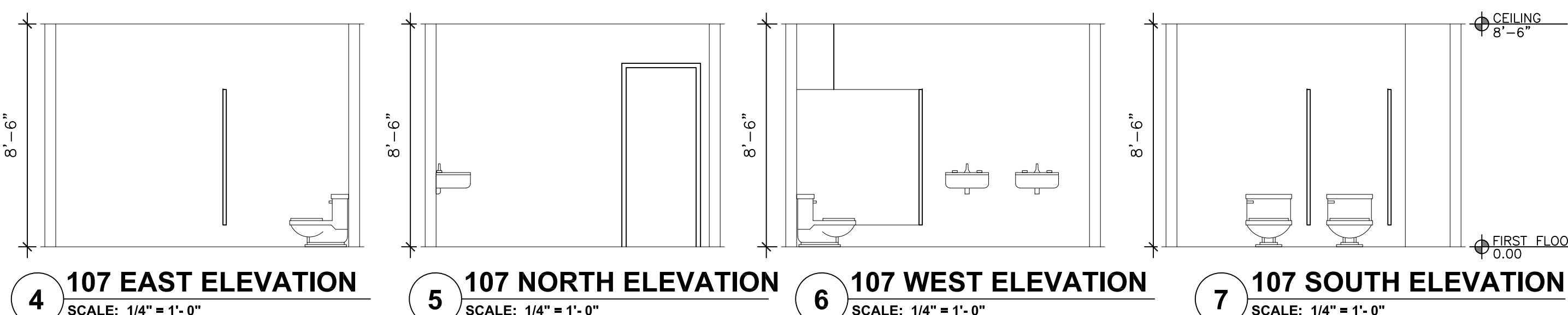
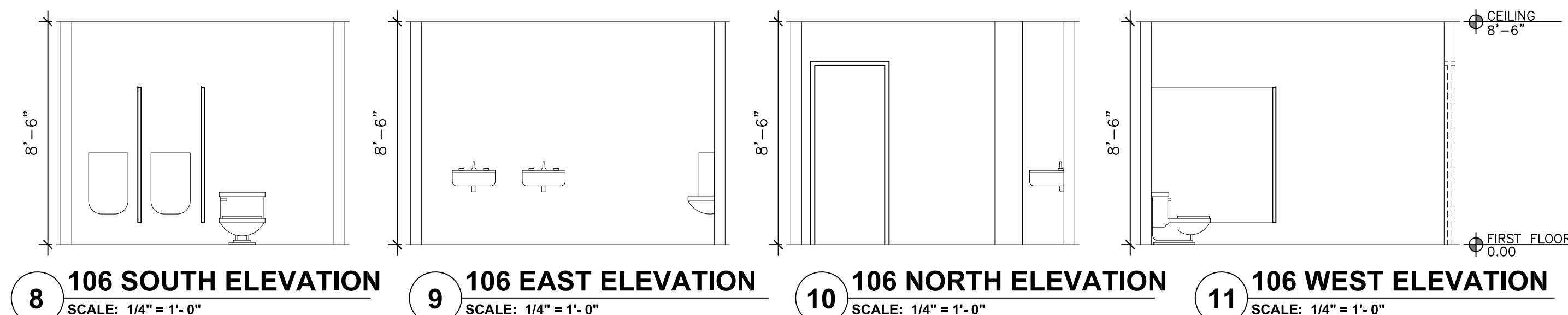
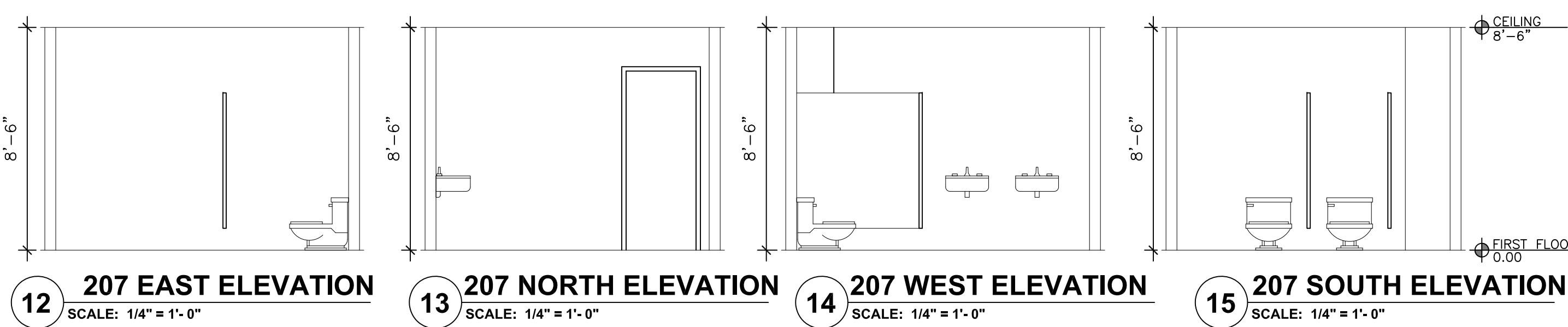
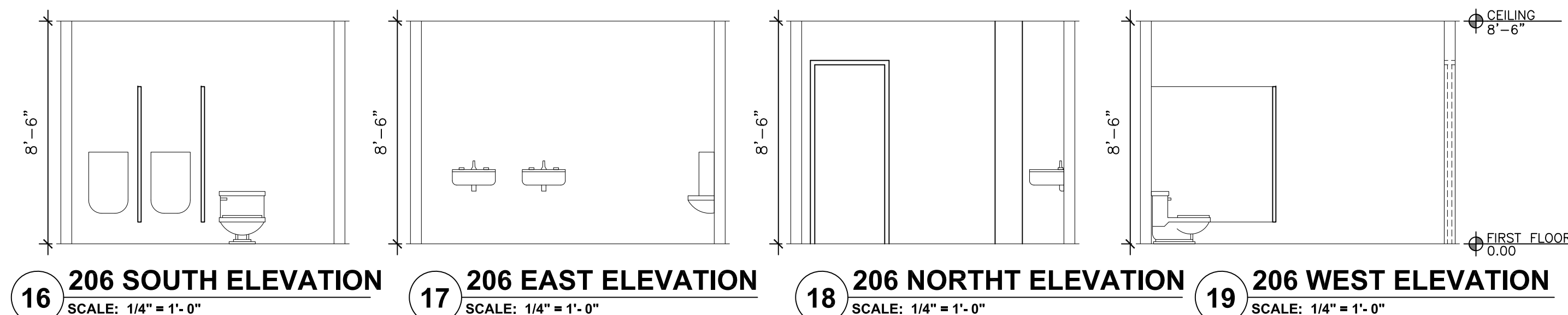
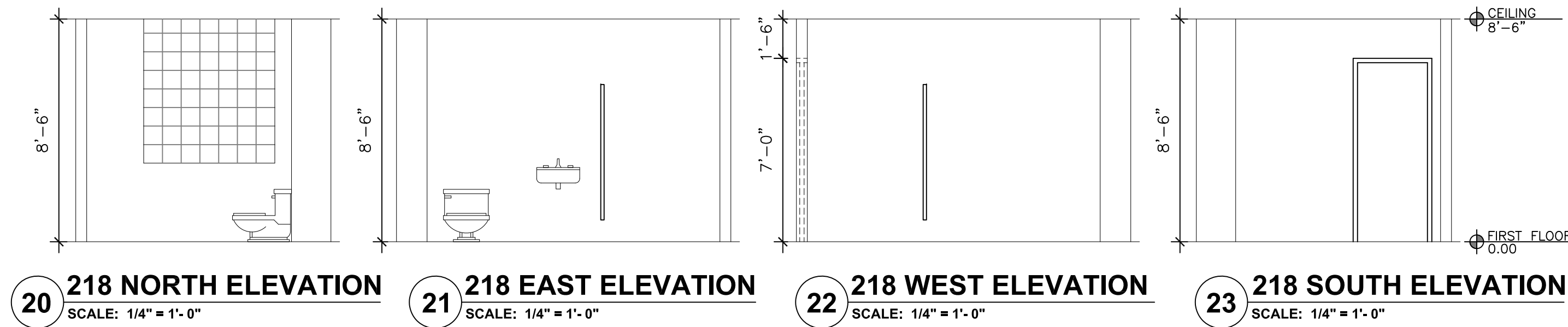
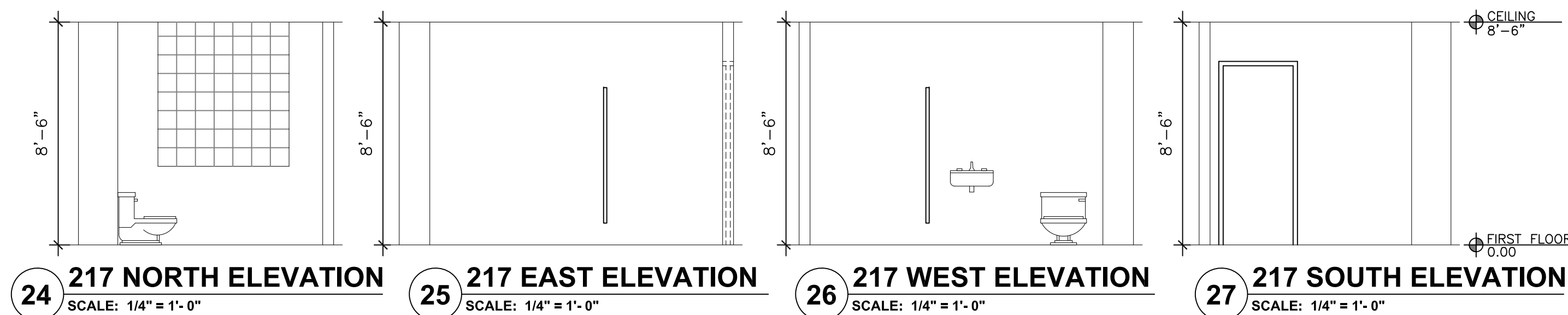
3 2ND. FLOOR ENLARGED RESTROOMS, RENOVATION FLOOR PLAN  
SCALE: 1/2" = 1'-0"



2 2ND. & 3RD. FLOOR ENLARGED RESTROOMS, RENOVATION FLOOR PLAN  
SCALE: 1/2" = 1'-0"



1 1ST. FLOOR ENLARGED RESTROOMS, RENOVATION FLOOR PLAN  
SCALE: 1/2" = 1'-0"



## RENOVATION KEY NOTES

### BASEMENT

- R1 AFTER REMOVAL OF SALTS, CLEAN THOROUGHLY WITH WATER & VINEGAR SOLUTION. PROVIDE TUCKPOINTING ON CLEAN MASONRY WALL.  
R2 PROVIDE NEW PLUMBING PIPING, ALLOWANCE 3K  
R3 REPAIR SUM PUMP  
R3A REPLACE SUM PUMP

### INTERIOR

- R4 NEW CORRIDOR FINISH FLOOR: PROVIDE NEW COMMERCIAL GRADE HIGH TRAFFIC VCT. COLOR BY OWNER.  
R5 PROVIDE 10% NEW SUBSTRATE IN KIND. NEW MEN & WOMEN RESTROOMS: PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 3 TOILETS, 4 LAVATORIES, 2 URINALS, 3 TOILET PARTITION STALLS, INCLUDE ALL TOILET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND/OR FLOOR CONNECTIONS. PROVIDE NEW FINISHES: COMMERCIAL GRADE HIGH TRAFFIC VCT. PARTIAL CT. AND PREPARE, PRIME & PAINT 2 COATS WALLS AND CEILINGS.  
R6 NEW FRAMES, DOORS & HARDWARE (ONLY AT FIRST FLOOR) PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED FRAME, DOOR AND HARDWARE AT SOUTH EXIT PROVIDE NEW & INSTALL EXTERIOR 2 Hr. FIRE RATED OVERHEAD GARAGE FRAME, DOOR AND HARDWARE.  
R7 IT SERVER ROOM, CLEAN AND PREPARE SURFACES. INSTALL 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON FLOOR STRUCTURE ABOVE FOR 2 Hr. FIRE ENCLOSURE. PATCH, PREPARE, PRIME & PAINT 2 COATS NEW CEILING AND ALL EXISTING WALLS.  
R8 NEW BITUMEN ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.  
R8.1 NEW TPO ROOFING SYSTEM & ACCESSORIES PROVIDE NEW TPO ROOFING SYSTEM WITH ALL ACCESSORIES AREA IS 5,967 SF.  
R8.2 NEW BITUMEN ROOFING AND NEW TPO ROOFING SYSTEM & ACCESSORIES: PROVIDE NEW BITUMEN ROOFING AT AREA BETWEEN COLUMN LINES 2 TO 4 AND A TO C, AREA 3,199 SF. FOR THE REST OF THE AREA PROVIDE TPO ROOFING SYSTEM (AREA 2,768 SF). REBUILD IN KIND WITH NEW BRICK AND MATCH MORTAR.  
R9 ROOF HATCH & LADDER: PROVIDE NEW ROOF HATCH AND NEW LADDER.

### MECHANICAL

- R11 BASEMENT: ALTERNATE 1: REPLACE B-1 WITH NEW EFFICIENT BOILERS. NEW CONTROLS WILL HAVE ALL NECESSARY CONTROL POINTS FOR OPERATION AND MONITORING. ALTERNATE 2: REFURBISHED B-1 BY REPLACING THE BURNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.  
R12 ROOF: ALTERNATE 1: REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.

UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

ALTERNATE 2: REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.

FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.

FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.

UPGRADE EXISTING BAS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.

ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

### ELECTRICAL

- R13 REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.  
R14 PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).  
R15 UPGRADE BAS AT LEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.  
R16 ELEVATOR CONTROLS SHALL BE UPGRADED.  
R17 REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.  
R18 EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.

## WALL SURFACE FINISH KEY

PNT-1	COLORS PER OWNER
PNT-2	COLORS PER OWNER
PNT-3	COLORS PER OWNER

## NOTES

- SOFFIT, GYP BOARD CEILING PNT-1 IN EGGSHELL FINISH
- TRIM PNT-1 IN A SEMI-GLOSS FINISH
- WALL COLORS DESIGNATION PNT1 & PNT-2 WILL BE DETERMINED BY OWNER
- CEILING TO BE PNT-3 (WHITE) EGGSHELL FINISH

## FLOOR & BASE FINISH KEY

	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED
	TO BE DETERMINED

## NOTES

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
- SEAL TILE AND GROUT AS EARLY AS POSSIBLE FOLLOWING INSTALLATION.
- FINISH GROUT LEVEL TO TILE SURFACE.
- ALIGN CERAMIC WALL BASE GROUT LINES WITH FLOORING GROUT LINES.
- PAINTING CONTRACTOR TO PAINT HVAC GRILES TO MATCH ADJACENT SURFACE.
- FLOORING CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIM TO ALL FLOORING FINISHES

## FINISH KEY

CERAMIC TILE GROUT	TO BE DETERMINED
SOLID SURFACE (SS-1)	TO BE DETERMINED
WOOD FINISH (WD-1)	TO BE DETERMINED
PLASTIC LAMINATE (PL-2)	TO BE DETERMINED

## KEY NOTES & ACCESSORY DATA

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
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## PLUMBING FIXTURE SCHEDULE

- ALL DIMENSIONS AND AREAS SHOWN ON FINISH PLAN ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING FLOORING.
- SEAL TILE AND GROUT AS EARLY AS POSSIBLE FOLLOWING INSTALLATION.
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## NOTES

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Food Service Consultant

Issuance	Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No: 00000  
Project No.: 5438

Title  
**ENLARGED RESTROOMS RENOVATION**

Sheet

A-401





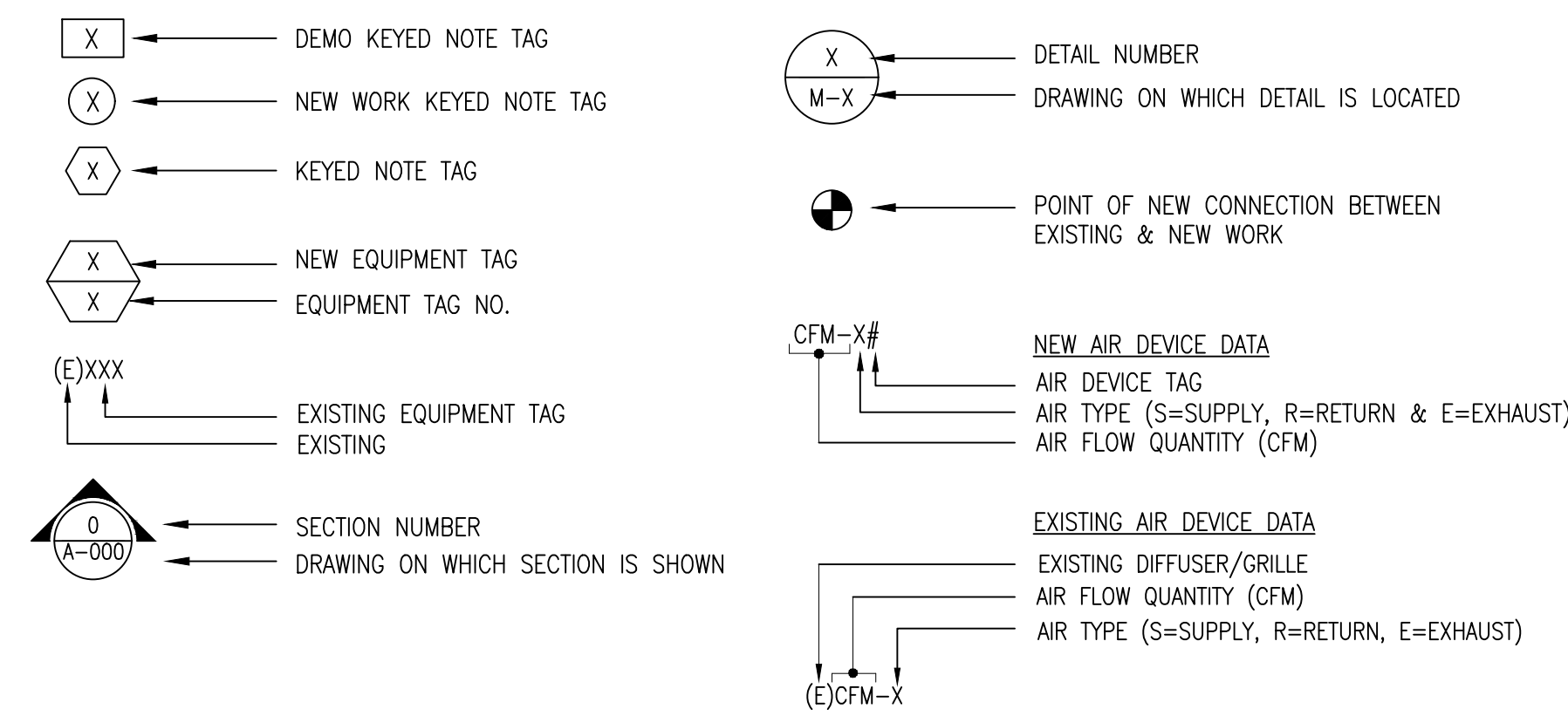


MECHANICAL ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	N	NORTH
CFM	CUBIC FEET PER MINUTE	N/A	NOT APPLICABLE OR NOT AVAILABLE
D, DIA, Ø	DIAMETER	NIC	NOT IN CONTRACT
DB	DRY BULB OR DECIBEL (A WEIGHTED)	NO, (#)	NUMBER
DEG F, °F	DEGREES FAHRENHEIT	NTS	NOT TO SCALE
DN	DOWN	OD	OUTSIDE DIAMETER
EA	EXHAUST AIR	P, PRESS	PRESSURE
EAT	ENTERING AIR TEMPERATURE	PH	PHASE
ESP	EXTERNAL STATIC PRESSURE	PSI	POUNDS PER SQUARE INCH
EXIST.	EXISTING	RA	RETURN AIR
FD	FIRE DAMPER	REV	REVISION
FLEX	FLEXIBLE	RPM	ROTATION PER MINUTE
FFM	FEET PER MINUTE	SA	SUPPLY AIR
FT, (')	FEET	SD	SMOKE DETECTOR
HP	HORSEPOWER	SEC	SECONDS
ID	INSIDE DIAMETER	SF	SQUARE FOOT
IN, (")	INCHES	SP	STATIC PRESSURE OR SPACE
INWC, "WC	INCHES WATER COLUMN	SPEC(S)	SPECIFICATION(S)
KW	KILOWATTS	SQ	SQUARE
LAT	LEAVING AIR TEMPERATURE	TEMP	TEMPERATURE
LBS	POUNDS	TSP	TOTAL STATIC PRESSURE
LWT	LEAVING WATER TEMPERATURE	TYP.	TYPICAL
M	MECHANICAL OR MOTOR OR MOTORIZED	VD	VOLUME DAMPER
MAX	MAXIMUM	W	WIDTH OR WATTS
MBH	THOUSAND BTU PER HOUR	W/O	WITHOUT
MECH	MECHANICAL	WB	WET BULB TEMPERATURE
MFR	MANUFACTURER	WC	WATER COLUMN
MIN	MINIMUM OR MINUTES		

#### MECHANICAL GENERAL NOTES

- DRAWINGS ARE GENERALLY DIAGMMATIC. ROUTING OF PIPING AND DUCTWORK AS SHOWN DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
- CONTRACTOR SHALL CONSULT WITH OWNER REPRESENTATIVE AND FOLLOW INTERNATIONAL MECHANICAL CODE 2009 AND LOCAL CODE STRICTLY. CONTRACTOR SHALL ALSO FOLLOW OSHA RULES, REGULATIONS, AND REQUIREMENTS.
- ALL METAL DUCT SHALL BE CONSTRUCTED AS SPECIFIED IN THE SMACNA "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE", LATEST EDITION.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS FINAL BID. IF ANY DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
- ALL EQUIPMENT SHALL BEAR THE "UL/AGA" LABEL FOR THE SPECIFIC USE OF THE INSTALLATION.
- CONTRACTOR SHALL VERIFY AND CONFIRM THAT SPACES IN WHICH THE WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITION AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY OWNER BEFORE PROCEEDING WITH THE INSTALLATION OF HIS WORK.
- CONSULT AND CHECK AT ALL TIMES THE LATEST ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR EXACT LOCATION OF DUCTWORK, PIPING, EQUIPMENT, AIR INLETS AND OUTLETS. CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES AND EQUIPMENT PRIOR TO ROUGH-IN. ALL EQUIPMENT SHOULD BE LOCATED IN AN ACCESSIBLE LOCATION.
- WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL PROVIDE SLEEVES ON BEAMS, FLOORS, WALLS AS REQUIRED BY JOBSITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING HIS WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS. LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY THE OWNER BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.
- CONTRACTOR SHALL COORDINATE THE SEQUENCE FOR THE INSTALLATION OF ALL WORK.
- THE WORK SHALL BE ACCEPTABLE TO THE OWNER AND LEFT IN PERFECT OPERATING CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE OWNER WILL DIRECT OTHERS TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE OWNER.
- CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORT OF THE PIPING, DUCTWORK, CONDUIT, AND EQUIPMENT WHICH SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.
- PROVIDE COMPLETE HVAC SYSTEMS INCLUDING CONTROLS AND RELATED WIRING AND CONTROL CONDUITS.
- CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 4" X 6" PLANKS AND/OR WOOD PALETS. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUINE. ALL PIPING AND DUCTWORK SHALL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT SHALL BE ALLOWED TO BE STORED ON THE SITE UNLESS IT IS KEPT ON WOOD PLANKS AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.
- ALL SUBSTITUTIONS BY THE CONTRACTOR SHALL BE SUBMITTED AND MUST BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT LISTED AS A SPECIFIED ACCEPTABLE MANUFACTURER BUT IS NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE ON THE EQUIPMENT.
- CONTRACTOR SHALL VERIFY THAT THE PERFORMANCE CHARACTERISTICS OF THE EQUIPMENT THEY SUBMIT FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED. WHEN EQUIPMENT IS SUBMITTED FOR REVIEW AND DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL ALSO PAY ALL COSTS REQUIRED TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.
- PROVIDE PRESSURE TESTING OF NEW DUCTWORK PER SMACNA PRIOR TO APPLICATION OF INSULATION.
- PROVIDE TESTING, ADJUSTING, AND BALANCING OF THE AIR SYSTEMS PER ABB.
- PROVIDE A TYPED AND NEATLY GLASS-FRAMED "OPERATING INSTRUCTIONS" FOR EACH SYSTEM.
- CONTRACTOR SHALL PROVIDE ONSITE TRAINING OF OWNER'S OPERATING PERSONNEL FOR SYSTEMS AND EQUIPMENT INSTALLED. PROVIDE START-UP TRAINING OF HVAC EQUIPMENT.
- BEFORE STARTING ANY SYSTEM, CONTRACTOR SHALL CONTACT EQUIPMENT MANUFACTURER TO VERIFY THAT EACH PIECE OF EQUIPMENT OR SYSTEM HAS BEEN CHECKED FOR PROPER CONTROL SEQUENCE OR OTHER CONDITIONS WHICH MAY CAUSE DAMAGE TO THE EQUIPMENT.
- PROVIDE COMPLETE "AS-BUILT" DRAWING AND CATALOG CUT SHEET PER SPECIFICATION.
- PROVIDE ONE YEAR GUARANTEE ON ALL MATERIAL AND WORKMANSHIP UNLESS SPECIFIED DIFFERENTLY IN SPECIFICATION.
- PROVIDE HVAC SYSTEM COMMISSIONING.

#### IDENTIFICATION SYMBOLS



#### MECHANICAL SYMBOLS



## JUVENILE DETENTION CENTER

3900 S. CALIFORNIA AVE.  
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Issuance

Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 04032

Title  
**MECHANICAL NOTES,  
SYMBOLS AND  
ABBREVIATIONS**

Sheet

M-000R



(ALTERNATE 1)

1. REPLACE IN-KIND RTU-1 AND CH-1 SYSTEM. THE NEW EQUIPMENT WILL HAVE ALL THE REQUIRED CONTROL POINT FOR BAS.
2. UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY.REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.
3. ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

(ALTERNATE 2)

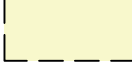
1. REFURBISHED RTU-1 BY REMOVING THE NON-FUNCTIONAL HEATING AND INSTALL A NEW HEATER.
2. FOR THE COOLING FIX THE PIPING CONNECTING THE COOLING COIL TO CH-1 TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.
3. FIX RTU CONTROLS REPLACE AND ADD SENSORS. TO IMPROVE BAS.
4. UPGRADE EXISTING BAS.BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL SENSORS. UPGRADE THE SOFTWARE TO ADD FUNCTIONALITY.REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.
5. ADD SAFETY RAILINGS IN THE PARAPET LEDGE.

SYMBOLS

EXISTING EQUIPMENT TO DEMO OR REFURBISHED



EXISTING EQUIPMENT TO REMAIN

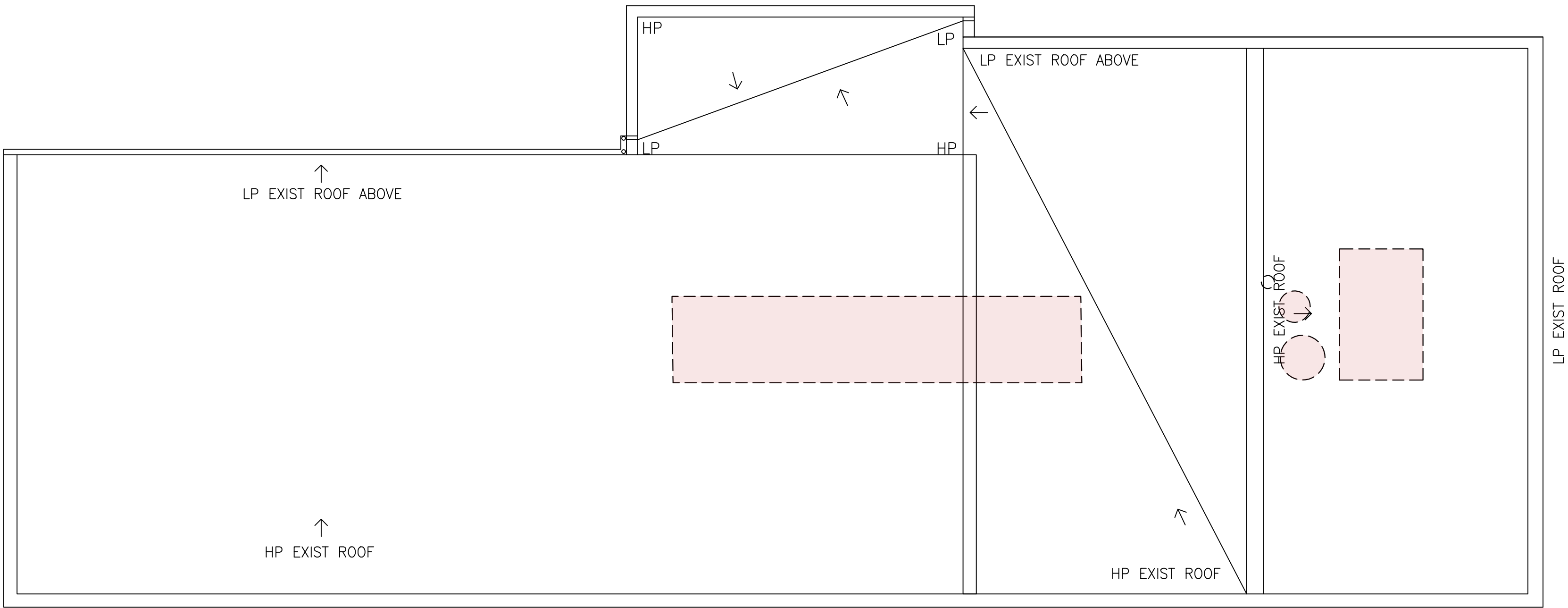


NEW INSTALLATION OR MODIFICATION



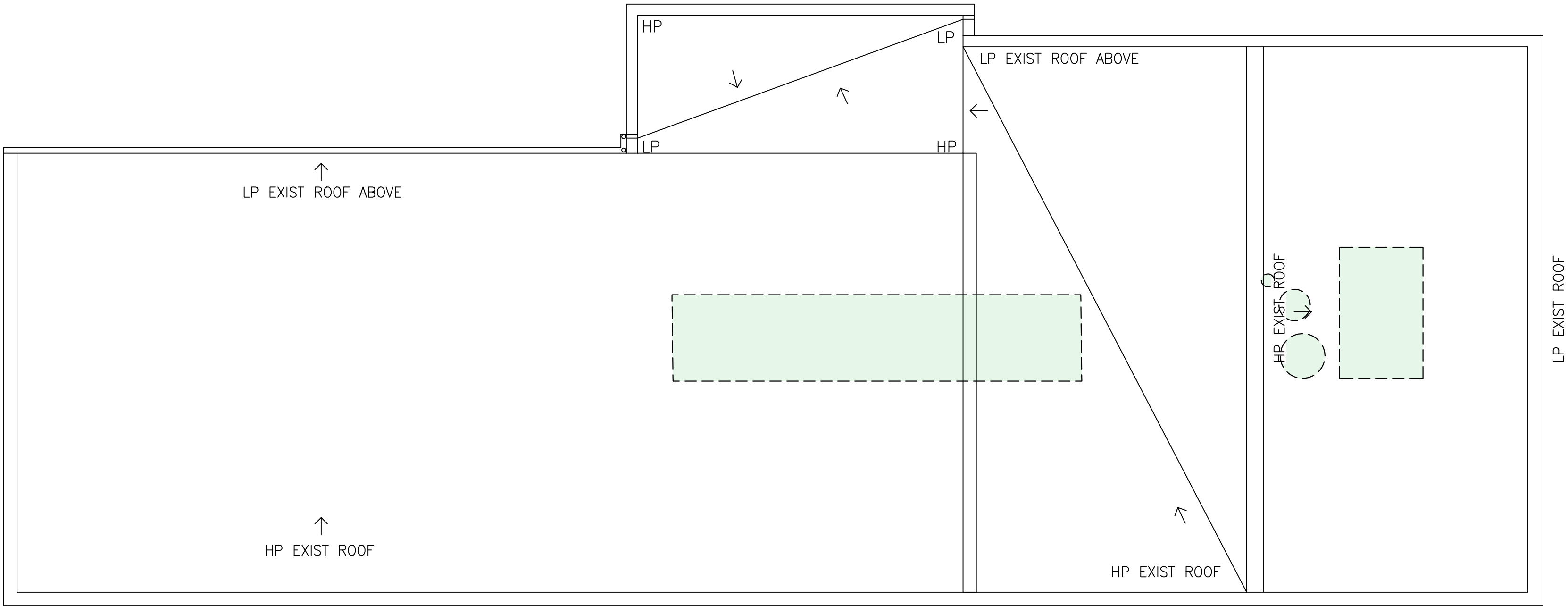
NOTES

1. STRUCTURAL SUPPORTS TO REMAIN.
2. ALTERNATES ARE FOR ESTIMATING PURPOSES ONLY.



1 ROOF LEVEL MECHANICAL NEW WORK PLAN

SCALE: 1/8" = 1'-0"



2 ROOF LEVEL MECHANICAL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



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Project No.: 04032  
Title

ROOF PLAN  
MECHANICAL

Sheet  
M-104



ELECTRICAL SPECIFICATIONS & GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.
2. ALL WORKMEN PERFORMING WORK UNDER THE SCOPE OF WORK SHALL BE LICENSED (OR CERTIFIED) SKILLED IN THEIR RESPECTIVE TRADE.
3. MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE AND LOCAL AUTHORITIES AND NEC STANDARDS.
4. MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U.L., E.T.L., C.S.A.
5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK.
6. ALL LIGHT FIXTURES, JUNCTION BOXES, ETC. ABOVE CEILING PER CHICAGO ELECTRICAL CODES (PLENUM RATED ETC).
7. CONTRACTOR SHALL IN ALL RESPECTS COMPLY WITH REGULATIONS OF THE OWNER. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE OWNER.
8. CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED WITH ARCHITECT AND OWNER.
9. WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING, POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF THE CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION.
10. THE CONTRACTOR SHALL PROVIDE LIGHTING AND POWER IN LOCATIONS ILLUSTRATED ON PLAN WITH CIRCUITRY AS INDICATED.
11. ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
12. PROVIDE "AS-BUILT" DRAWINGS AND SUBMIT FOR APPROVAL TO THE OWNER. AS-BUILT SHALL BE SUBMITTED IN AUTOCAD AND PDF FORMAT AND (3) SETS OF FULL SIZE HARD COPIES.
13. ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW, UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED.





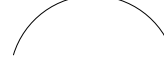


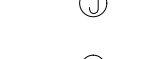
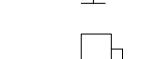








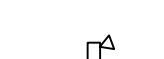

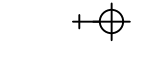

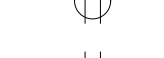








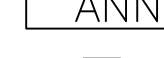

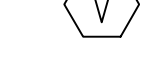




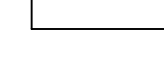





A. ALL RECEPTACLES SHALL BE PROVIDED AS INDICATED ON PLANS AS NEMA 5-20R COMMERCIAL GRADE UNLESS INDICATED OTHERWISE.

B. ALL SWITCHES SHALL BE PROVIDED AS INDICATED ON PLANS.
14. ELECTRICAL METALLIC TUBING (EMT) SHALL BE USED FOR ALL ELECTRICAL CEILING AND WALL OUTLETS OR ABOVE CEILINGS. EMT FITTINGS SHALL BE OF THE STEEL COMPRESSION TYPE.
15. MINIMUM CONDUIT SIZE SHALL BE 3/4".
16. WIRE NO. 8 AND SMALLER FOR USE IN INTERIOR DRY LOCATIONS SHALL BE TYPE THWN THERMOPLASTIC 600 VOLT INSULATED COPPER CONDUCTORS. FEEDERS AND POWER WIRING NO. 6 OR LARGER SHALL BE TYPE XHHW-2 600 VOLT INSULATED COPPER. WIRE SMALLER THAN NO. 10 MAY BE SOLID OR STRANDED, WIRE NO. 10 AND LARGER SHALL BE STRANDED. NO WIRE SMALLER THAN #12 AWG SHALL BE USED FOR POWER OR LIGHTING BRANCH CIRCUIT WIRING.
17. EACH SWITCH, LIGHT, RECEPTACLE OR OTHER MISCELLANEOUS DEVICE SHALL BE PROVIDED WITH A GALVANIZED OR SHERARDIZED PRESSED STEEL OUTLET BOX OF THE KNOCK-OUT TYPE, OF NOT LESS THAN NO. 14 U.S. GAUGE STEEL. CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS SHALL BE SEALED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
18. IN SUSPENDED CEILINGS, SUPPORT CONDUIT AND JUNCTION BOXES DIRECT FROM THE STRUCTURAL SLAB, DECK, OR FRAMING PROVIDED FOR THAT PURPOSE. BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SUPPORT WIRES, SPLINE OR MECHANICAL DUCTS, PIPES, ETC.

A. ALL HANGERS, CLAMPS, FITTINGS AND RODS SHALL BE MALEABLE STEEL AND EITHER U.L., NEMA OR ANSI APPROVED. ALL HANGERS, CLAMPS, FITTINGS AND RODS SHALL BE HOT-DIPPED GALVANIZED STEEL WHERE SUBJECT TO CORROSION.
19. NUMBERED CIRCUITS ARE SHOWN FOR THE CONVENIENCE OF DESIGN ONLY. DESIGN INTENT MUST BE FOLLOWED THROUGHOUT, INDICATE THE ACTUAL CIRCUIT NUMBERS USED ON THE "AS-BUILT" DRAWINGS.
20. BRANCH CIRCUIT WIRING:

A. BRANCH CIRCUIT HOMERUNS SHALL HAVE PHASE, NEUTRAL AND GROUND CONDUCTORS. WHERE HOMERUN EXCEEDS 100 LINEAR FEET CONDUCTOR SIZE SHALL BE INCREASED ONE WIRE GAUGE. EACH BRANCH CIRCUIT SHALL HAVE SEPARATE NEUTRAL.

B. BRANCH CIRCUIT WIRING SHALL BE AS FOLLOWS, WITH ASSOCIATED BRANCH CIRCUIT PROTECTION. 20A.-#12AWG. 30A.-#10AWG.
21. ALL LIGHT FIXTURES SHALL BE SUPPORTED DIRECTLY FROM STRUCTURAL SLAB.
22. BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. THE SPECIFICATIONS AND DRAWINGS FORM THE BASIS OF THIS CONTRACT REQUIREMENTS AND INCLUDE THE TYPE AND GRADE OF MATERIALS TO BE USED, EQUIPMENT TO BE FURNISHED, THE MANNER BY WHICH TO BE INSTALLED AND WHERE TO BE LOCATED. IN THE EVENT OF A CONFLICT BETWEEN THE SPECIFICATIONS AND DRAWINGS, SPECIFICATIONS GOVERN UNLESS THE ARCHITECT/ENGINEER DIRECTS OTHERWISE.
23. ALL LIGHTING FIXTURES SHALL BE LOCATED AS REQUIRED ON THE JOB TO CLEAR DUCTS, PIPING, EQUIPMENT, AND/OR MECHANICAL UNITS.
24. CONDUIT RUNS SHOWN ON DRAWINGS ARE DIAGRAMMATIC. ALL CONDUITS SHALL RUN CONCEALED, EXCEPT WHERE APPROVED BY ARCHITECT.
25. BRING ALL QUESTIONS TO THE ENGINEER FOR DIRECTIONS BEFORE PROCEEDING WITH WORK. FIELD COORDINATION IS ESSENTIAL.
26. PROVIDE ALL ADDITIONAL HARDWARE FOR FIXTURE MOUNTING AS REQUIRED, AT NO EXTRA COST.
27. IDENTIFY ALL POWER EQUIPMENT, RECEPTACLES AND SWITCHES WITH CIRCUIT NUMBERS AND PANEL NUMBERS THEY ARE FED FROM.

SYMBOLS LIST		ABBREVIATIONS	
	CONDUIT HOMERUN	A	AMPERES
	PHASE NEUTRAL GROUND	AC	ALTERNATING CURRENT
	NEW CONDUIT – CONCEALED	AFF	ABOVE FINISHED FLOOR
	NEW CONDUIT – EXPOSED	A/C	AIR CONDITIONING
	CONDUIT UNDERFLOOR OR UNDERGROUND	AMPS	AMPERES
	CONDUIT TURNED UP	C	CONDUIT
	CONDUIT TURNED DOWN	CCT	CIRCUIT
	FLEXIBLE CONDUIT	CB	CIRCUIT BREAKER
	JUNCTION BOX	CLG	CEILING
	JUNCTION BOX – WALL MOUNTED	CP	CONTROL PANEL
	NON–FUSED DISCONNECT SWITCH	DC	DIRECT CURRENT
	FUSED DISCONNECT SWITCH	E	EXISTING
	PANELBOARD	GFI	GROUND FAULT CIRCUIT INTERRUPTER
	MOTOR STARTERS	GRD	GROUND
	2' X 2' LED LIGHTING	GC	GENERAL CONTRACTOR
	2' X 2' LED LIGHTING, NIGHT LIGHT	HP	HORSEPOWER
	PENDANT MOUNTED LIGHTING	HOA	HAND–OFF–AUTO
	PENDANT MOUNTED LIGHTING, NIGHT LIGHT	KA	KILOAMPERES
	RECESSED CAN LIGHT WITH LED LAMPS	LTG	LIGHTING
	RECESSED CAN LIGHT WITH LED LAMPS, NIGHT LIGHT	M	MOTOR
	WALL MOUNTED EMERGENCY LIGHT WITH BATTERIES	MCB	MAIN CIRCUIT BREAKER
	EXIT SIGN WITH LED LIGHTS, CHICAGO CODE APPROVED	MLO	MAIN LUGS ONLY
	SQUARE WORK LED LIGHTS, CHICAGO CODE APPROVED	MOCP	MAXIMUM OVERCURRENT PROTECTION
	#3, #6 DENOTED CHICAGO CODE NUMBER	NIC	NOT IN CONTRACT
	DUPLEX CONVENIENCE OUTLET, 20A,120VAC	OCP	OVERCURRENT PROTECTION
	DUPLEX CONVENIENCE OUTLET, GFI, 20A,120VAC	RMS	ROOT MEAN SQUARE
	QUADRUPLEX CONVENIENCE OUTLET, 20A,120VAC	SYM	SYMMETRICAL
	LIGHT SWITCH, SINGLE POLE, 20A,120VAC	TYP	TYPICAL
	LIGHT SWITCH, THREE–WAY, 20A,120VAC	V	VOLTS
	LIGHT SWITCH, OCCUPANCY SENSOR, 20A,120VAC		
	ELECTRICAL MANAGEMENT SYSTEM PANEL		
	FIRE ALARM CONTROL PANEL, ADDRESSABLE		
	FIRE ALARM NAC POWER PANEL, 8AMP		
	FIRE ALARM ANNUNCIATOR PANEL, LCD DISPLAY		
	FIRE ALARM AUDIO/VISUAL DEVICE		
	FIRE ALARM LIFE SAFETY STROBE (VISUAL)		
	FIRE ALARM PULL STATION, DUAL–ACTION		
	FIRE ALARM SMOKE DETECTOR, ADDRESSABLE		
	FIRE ALARM HEAT DETECTOR, ADDRESSABLE		
	FIRE ALARM DUCT DETECTOR, ADDRESSABLE		
	CCTV SECURITY CAMERA		
	TELEPHONE OUTLET		
	DATA SYSTEMS OUTLET		

SCOPE OF WORK

1. REMOVE AND REPLACE ALL FLOURESCENT LIGHTING FIXTURES WITH ENERGY EFFICIENT LED LIGHTING TO MEET THE ENERGY STANDARDS.
2. PROVIDE NEW POWER AND CONTROLS WIRING FOR THE NEW HVAC EQUIPMENT THAT WILL BE REPLACED. UPGRADE CIRCUIT BREAKER(S) IN EXISTING PANEL(S).
3. UPGRADE BAS ATLEAST FOR IMPROVED INTERFACE WITH NEW AHU. IT IS RECOMMENDED TO IMPLEMENT A GLOBAL BUILDING MONITORING SYSTEM. IT SHALL IMPROVE BUILDING MANAGEMENT. FIELD DEVICES SHOULD BE REPLACED AND MODIFIED FOR ITS COMPATIBILITY.
4. ELEVATOR CONTROLS SHALL BE UPGRADED.
5. REMOVE AND REPLACEMENT OF ALL EXIT SIGNS AND EMERGENCY LIGHTING WITH NEW.
6. EXISTING INTRUSION/FIRE ALARM SYSTEM SHOULD BE REPLACED AND/OR UPGRADED.



JUVENILE DETENTION CENTER

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Food Service Consultant

Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No: 00000  
Project No.: 04032  
Title

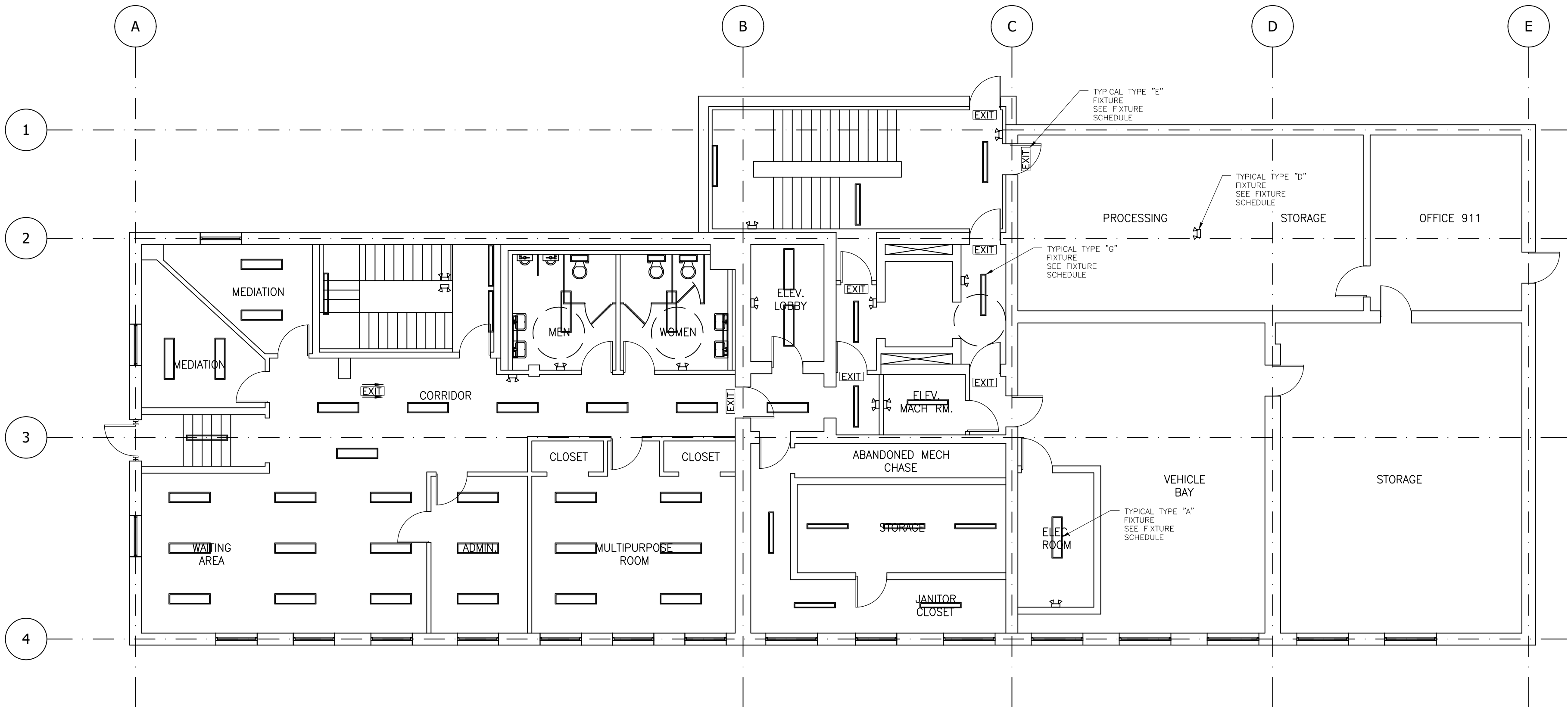
GENERAL NOTES & SYMBOLS

Sheet

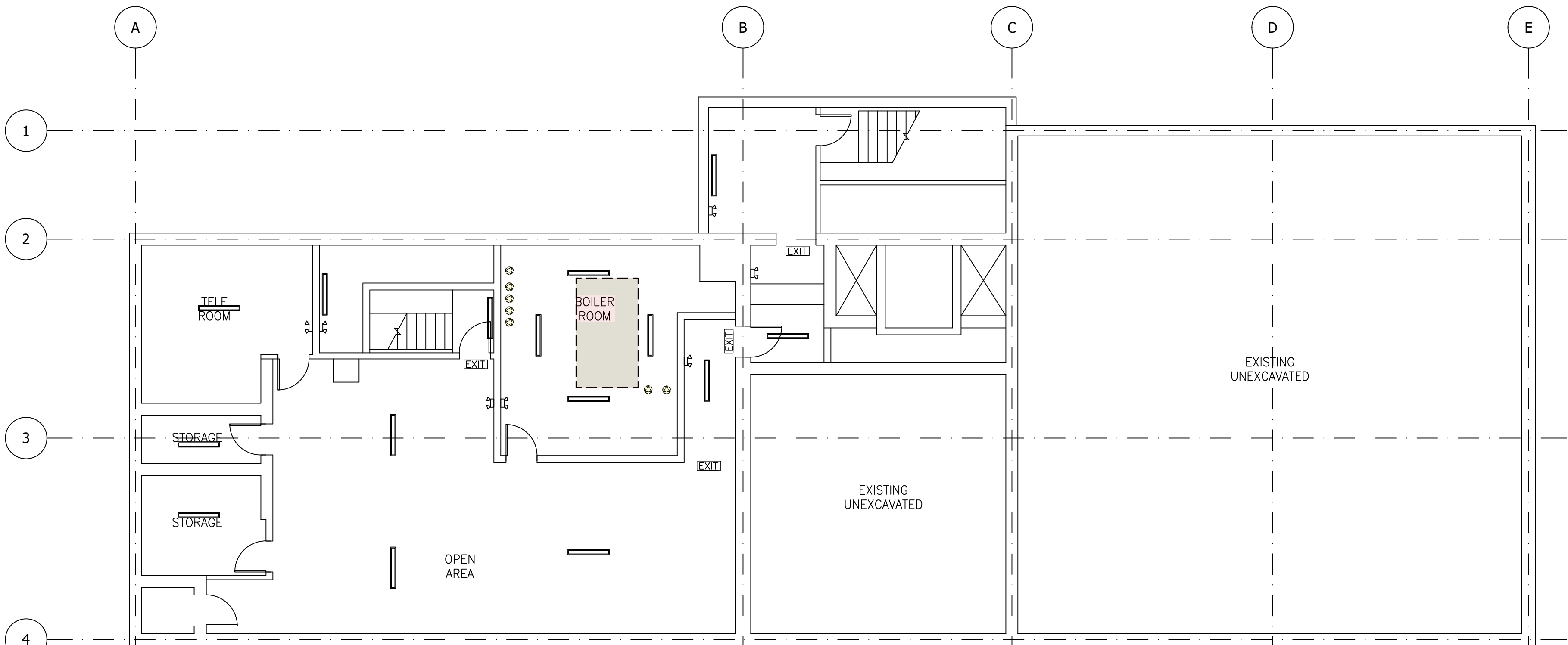


GENERAL LIGHTING NOTES

1. EXIT SIGNS AND EMERGENCY BATTERY UNITS SHALL BE CONNECTED TO THE LIGHTING BRANCH CIRCUIT IN THE AREA AHEAD OF THE LIGHTING CONTROL.
2. ALL EXISTING LIGHT FIXTURES SHALL BE REPLACED WITH NEW LED FIXTURES.
3. TWIN HEAD, LOW VOLTAGE EMERGENCY FIXTURES WILL BE POWERED VIA EXIT SIGN.



1 1ST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 BASEMENT PLAN  
SCALE: 1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE							
ITEM	DESCRIPTION	LAMPS		VOLTS	MOUNTING	MANUFACTURER	PART NUMBER
		WATTS	CODE				
A	2 x 4 LAY IN LUMINAIRE RATED CHICAGO CODE APPROVED	34	LED	120	RECESSED	DAY-BRITE FLUXGRID	2FGGH428835-4-D-UNV-DIM-CHIC
B	PENDANT MOUNTED FIXTURE BOTTOM OF FIXTURE 10FT ABOVE FINISHED FLOOR	71	LED	120	PENDANT	G LIGHTING	GL-2635-5LED35-1
C	RECESSED CAN LIGHT	28	LED	120	RECESSED	CALCULITE	4RNLIC / CRL20835WZ10U / C4RDLCC
D	EMERGENCY LIGHT WITH BATTERIES	10	LED	120	WALL MOUNTED	CHLORIDE	SCHL10W
E	EXIT SIGN WITH BATTERIES CHICAGO CODE APPROVED	5	LED	120	CEILING MOUNTED	CHLORIDE	CESE1RWW
F	SQUARE LED ECONOMY WORK LIGHT, ALUMINIUM, 1200 LUMENS	14	LED	12/24	SURFACE MOUNTED	NORTH AMERICAN SIGNAL	WLED-SS
G	1 x 4 LINEAR LIGHTING COLOR SELECTABLE FROSTED POLYCARBONATE	34	LED	120	SURFACE MOUNTED	DAY-BRITE FLUXGRID	NWL440L8CST-UNV-DIM-OCC



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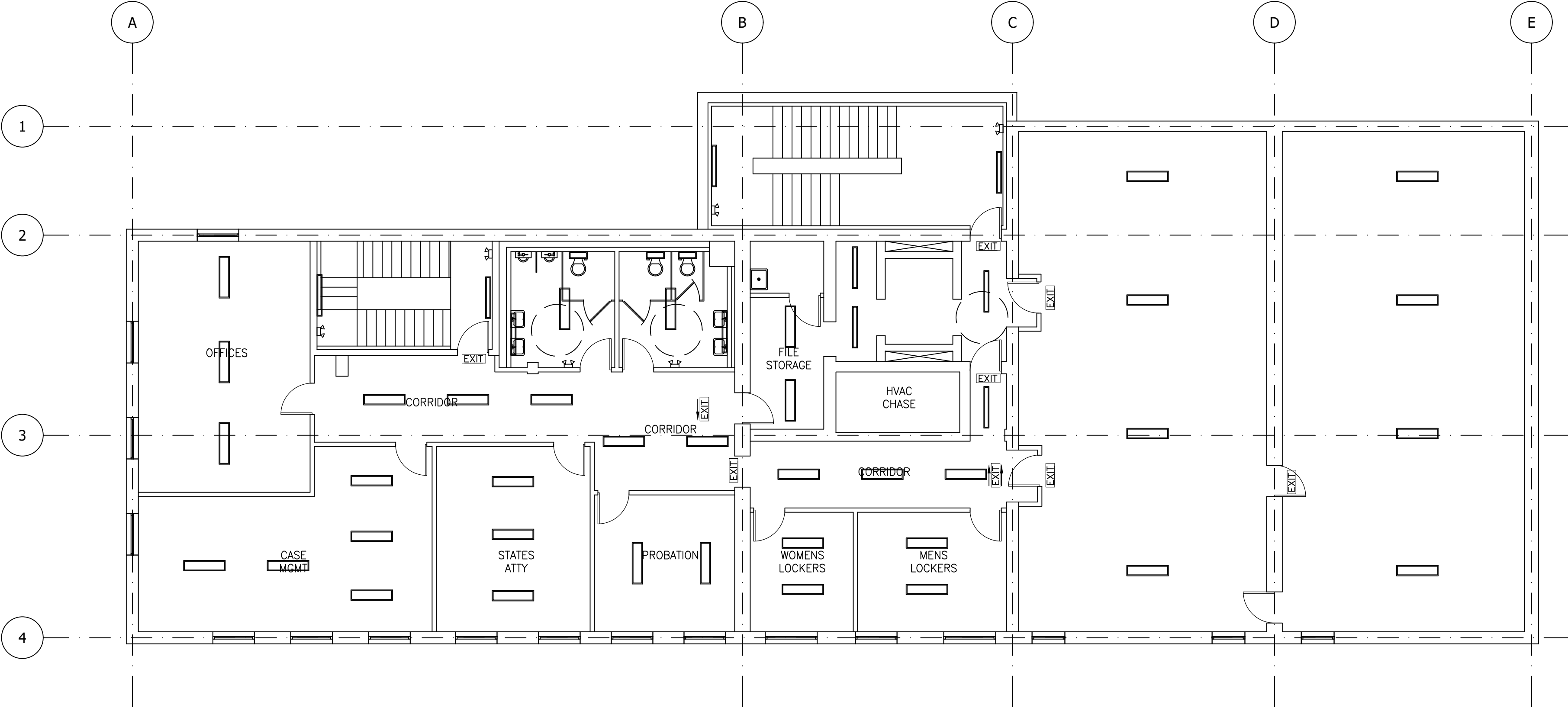
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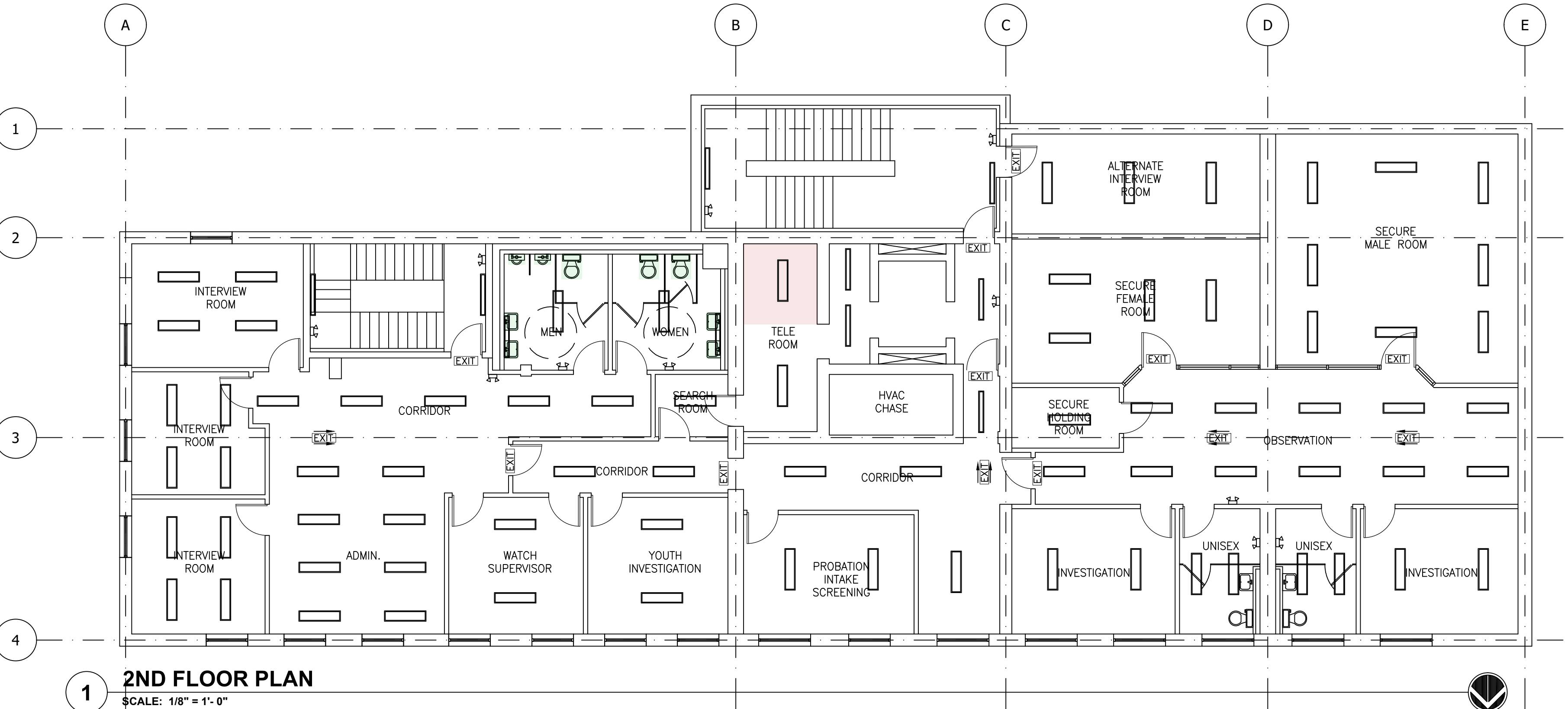


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1 3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 2ND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

ITEM	DESCRIPTION	LAMPS		VOLTS	MOUNTING	MANUFACTURER	PART NUMBER
		WATTS	CODE				
A	2 x 4 LAY IN LUMINAIRE RATED CHICAGO CODE APPROVED	34	LED	120	RECESSED	DAY-BRITE FLUXGRID	2FGH428835-4-D-UNV-DIM-CHIC
B	PENDANT MOUNTED FIXTURE BOTTOM OF FIXTURE 10FT ABOVE FINISHED FLOOR	71	LED	120	PENDANT	G LIGHTING	GL-2635-5LED35-1
C	RECESSED CAN LIGHT	28	LED	120	RECESSED	CALCULITE	4RNLC / CRL20835WZ10U / C4RDLC
D	EMERGENCY LIGHT WITH BATTERIES	10	LED	120	WALL MOUNTED	CHLORIDE	SCHL30W
E	EXIT SIGN WITH BATTERIES CHICAGO CODE APPROVED	5	LED	120	CEILING MOUNTED	CHLORIDE	CESE1RWW
F	SQUARE LED ECONOMY WORK LIGHT, ALUMINUM, 1200 LUMENS	14	LED	12/24	SURFACE MOUNTED	NORTH AMERICAN SIGNAL	WLED-55
G	1 x 4 LINEAR LIGHTING COLOR SELECTABLE FROSTED POLYCARBONATE	34	LED	120	SURFACE MOUNTED	DAY-BRITE FLUXGRID	NWL440L8CST-UNV-DIM-OCC



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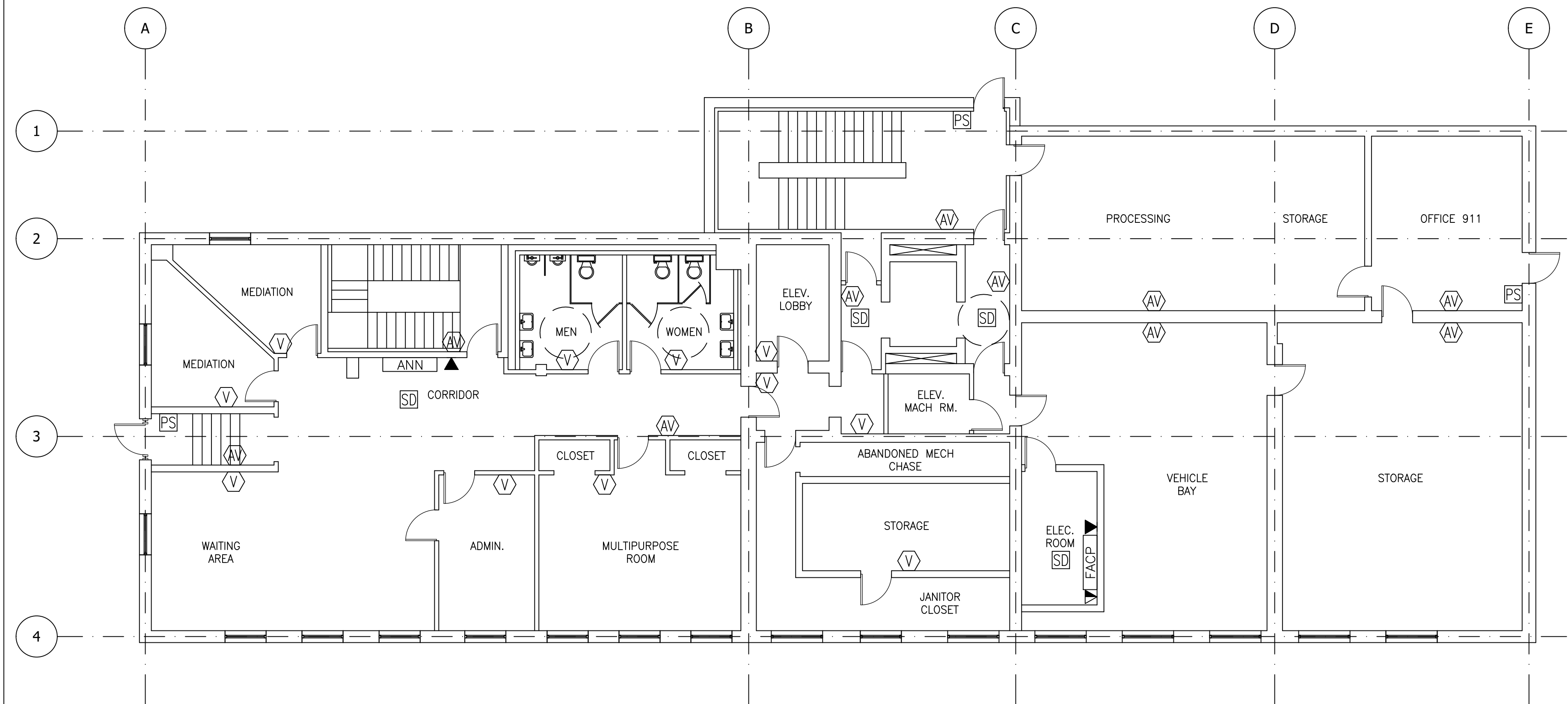
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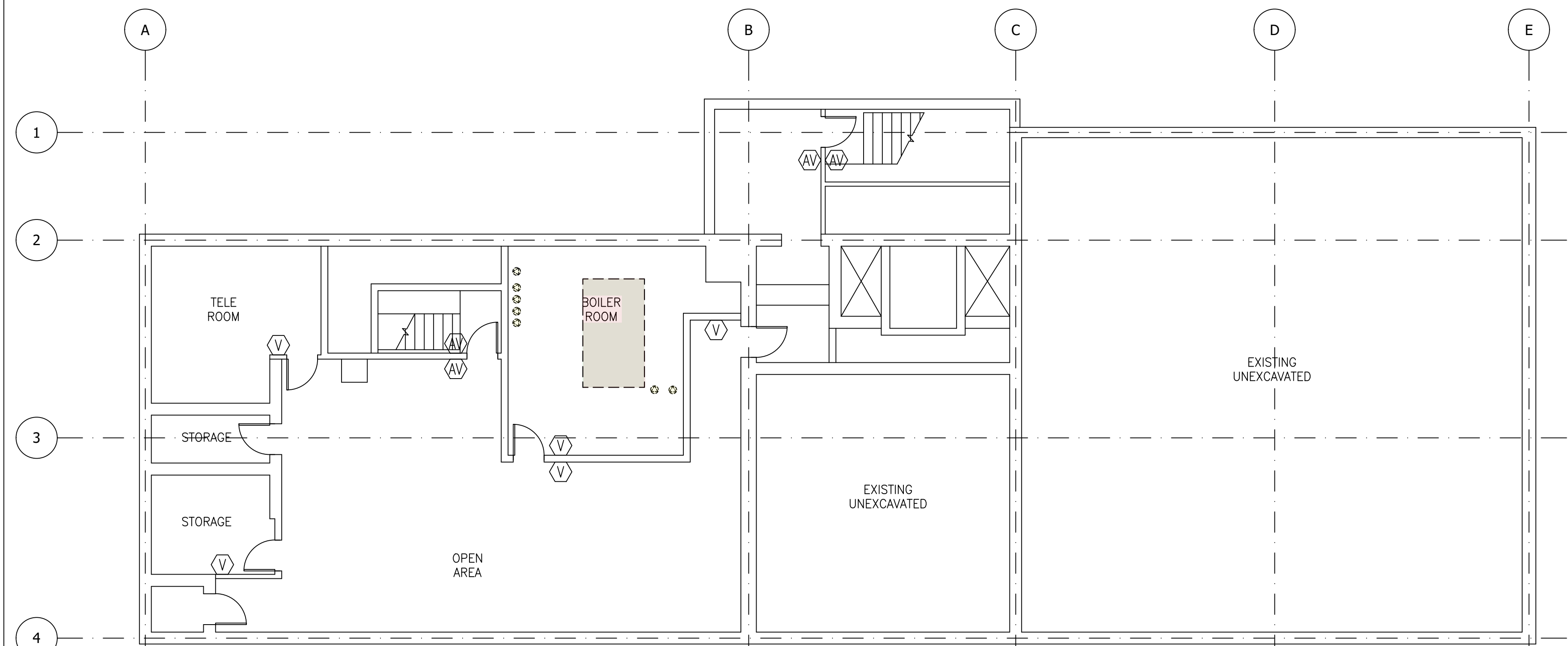
PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No: 00000  
Project No.: 04032  
Title

2ND & 3RD FLOOR  
LIGHTING PLAN





**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



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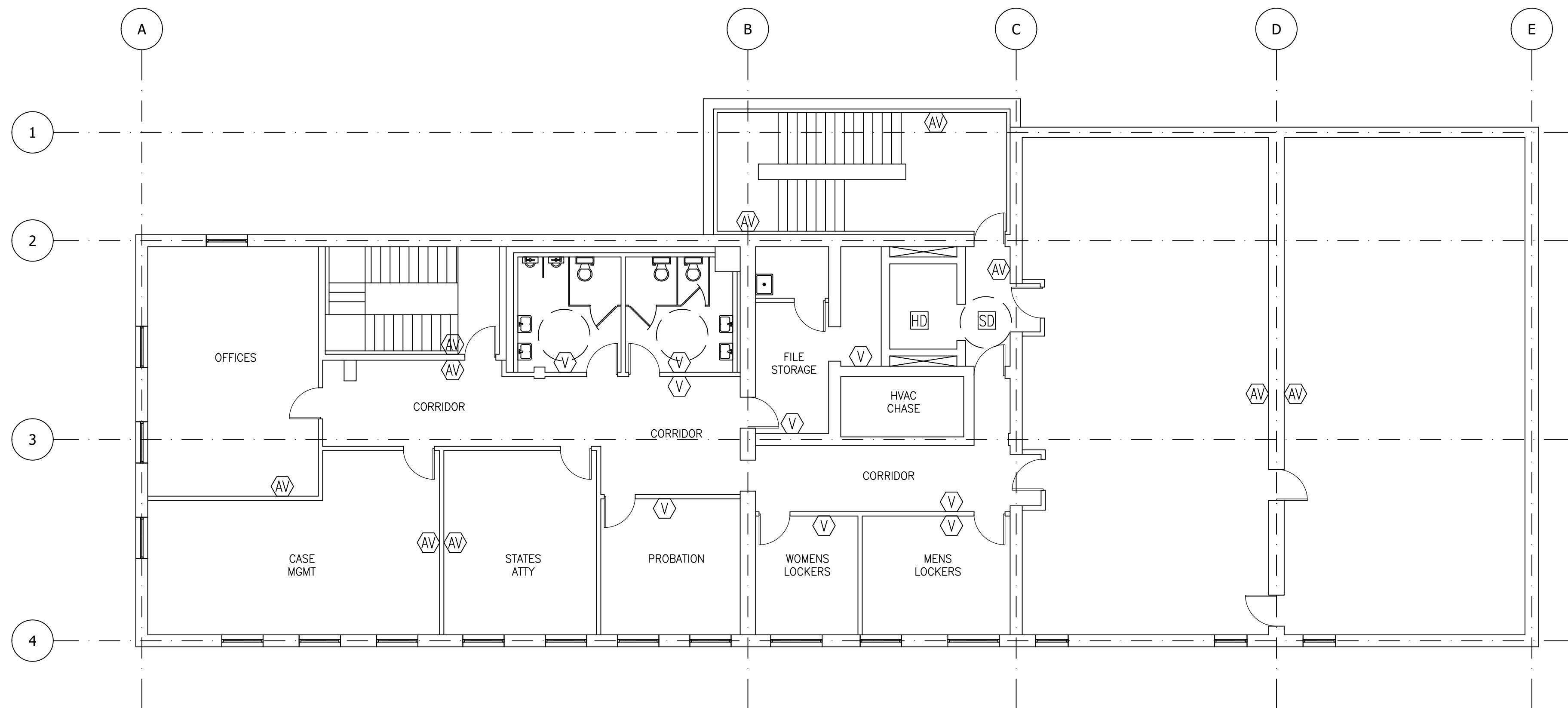
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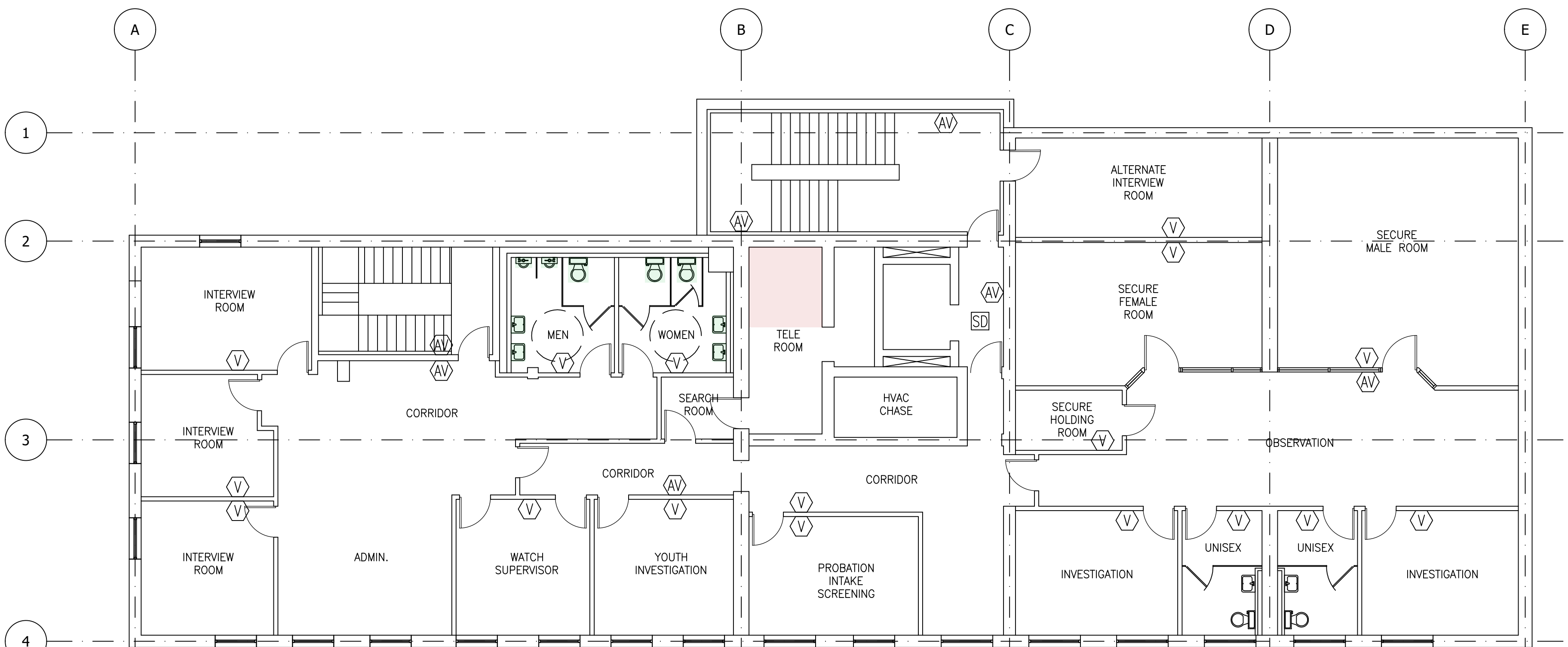
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PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 04032  
Title: **BASEMENT & 1ST FLOOR TEL. & FIRE ALARM PLAN**





**1 3RD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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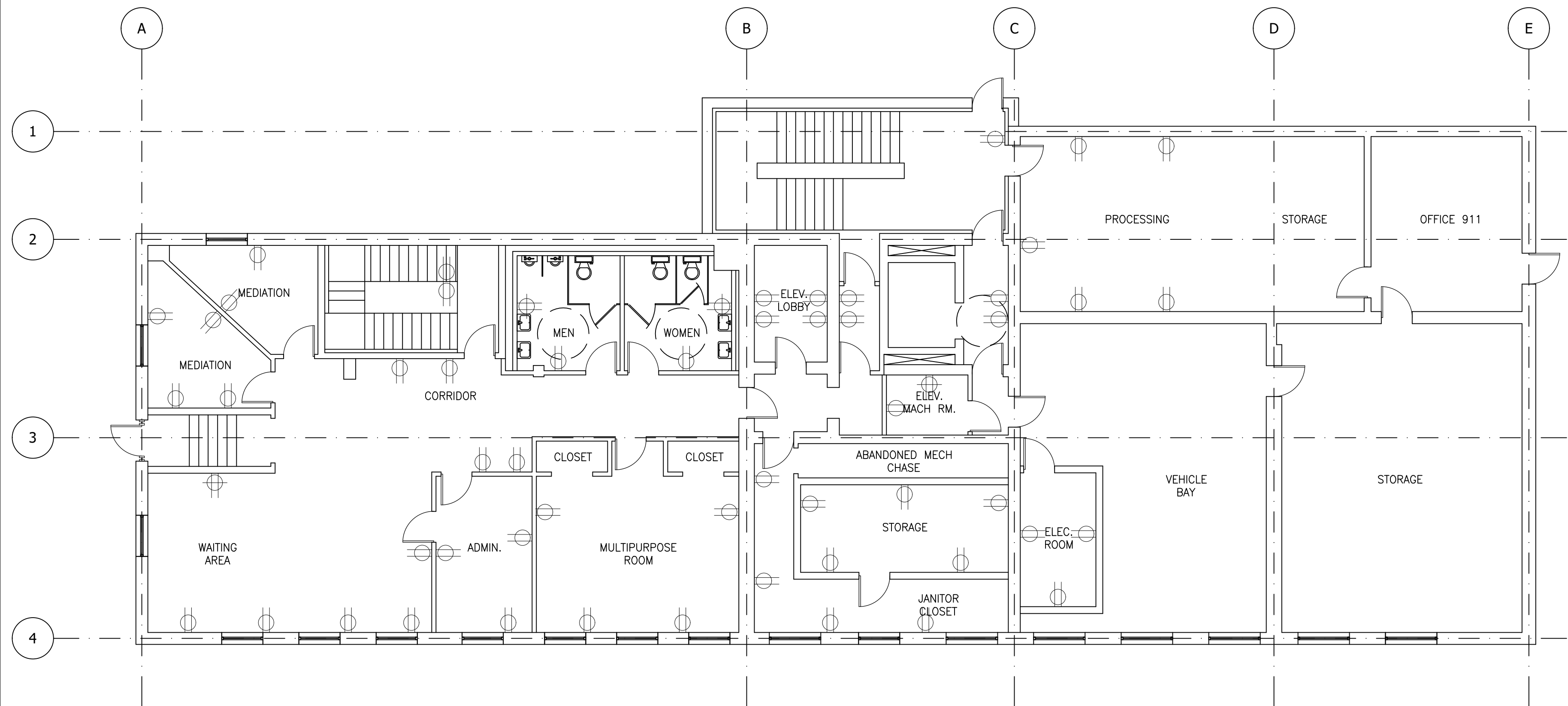
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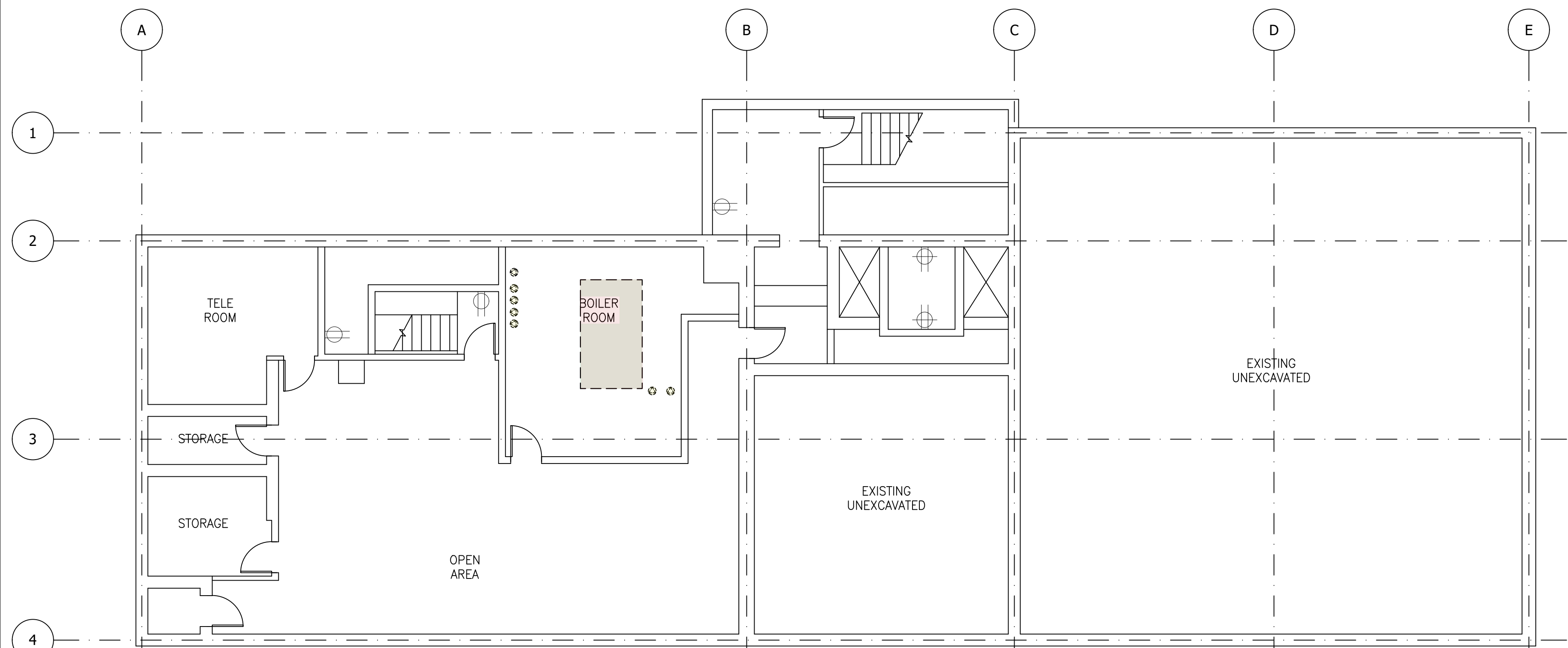
PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 04032

Title  
**2ND & 3RD FLOOR  
TEL. & FIRE ALARM  
PLAN**





**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



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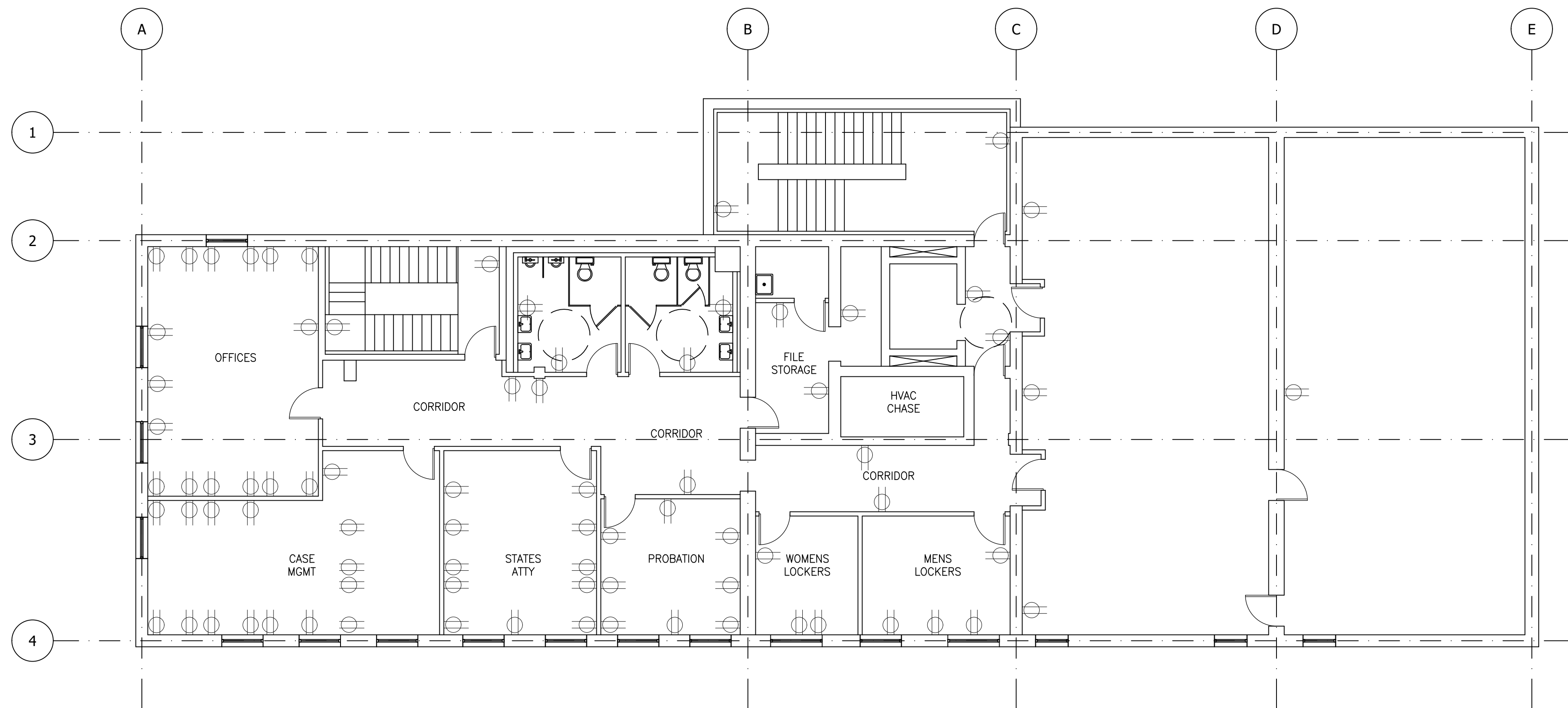
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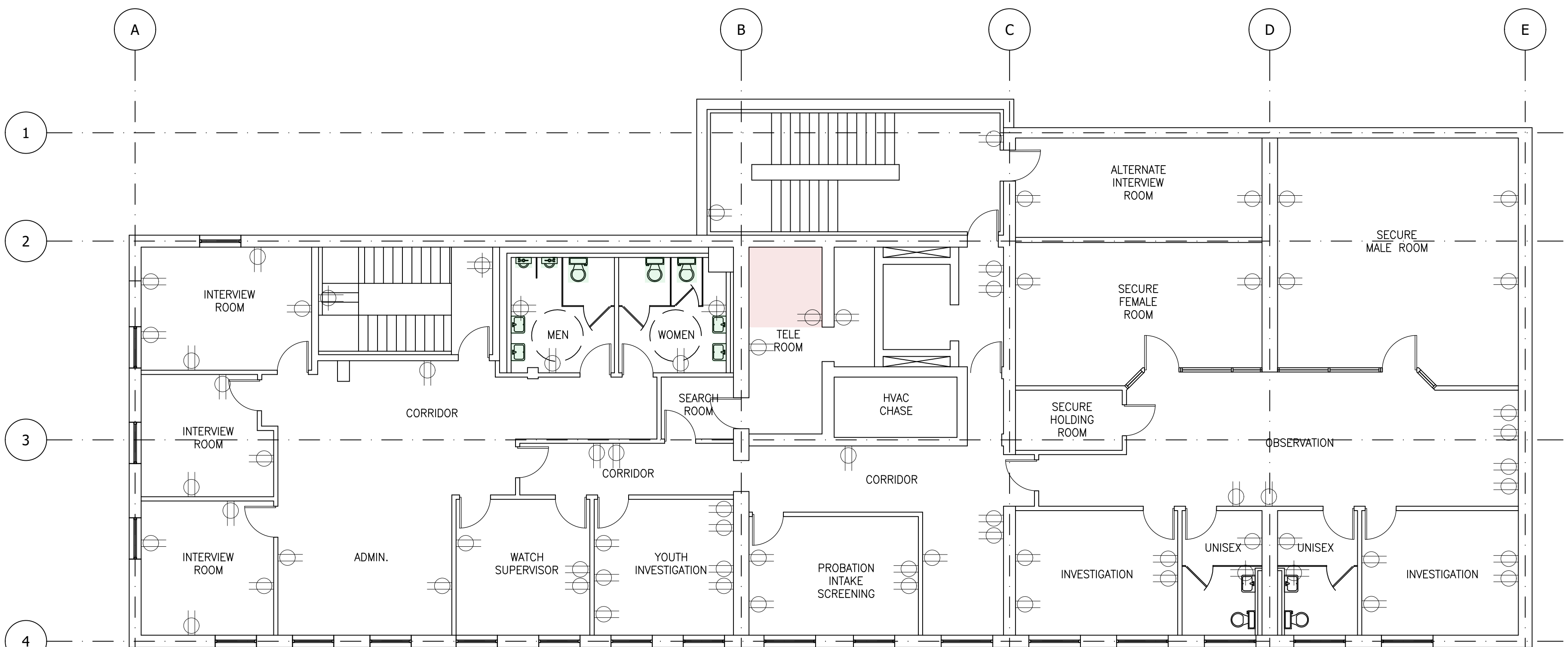
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PBC Contract No.: 00000  
Project No.: 04032

Title  
**BASEMENT & 1ST FLOOR POWER PLAN**





**1 3RD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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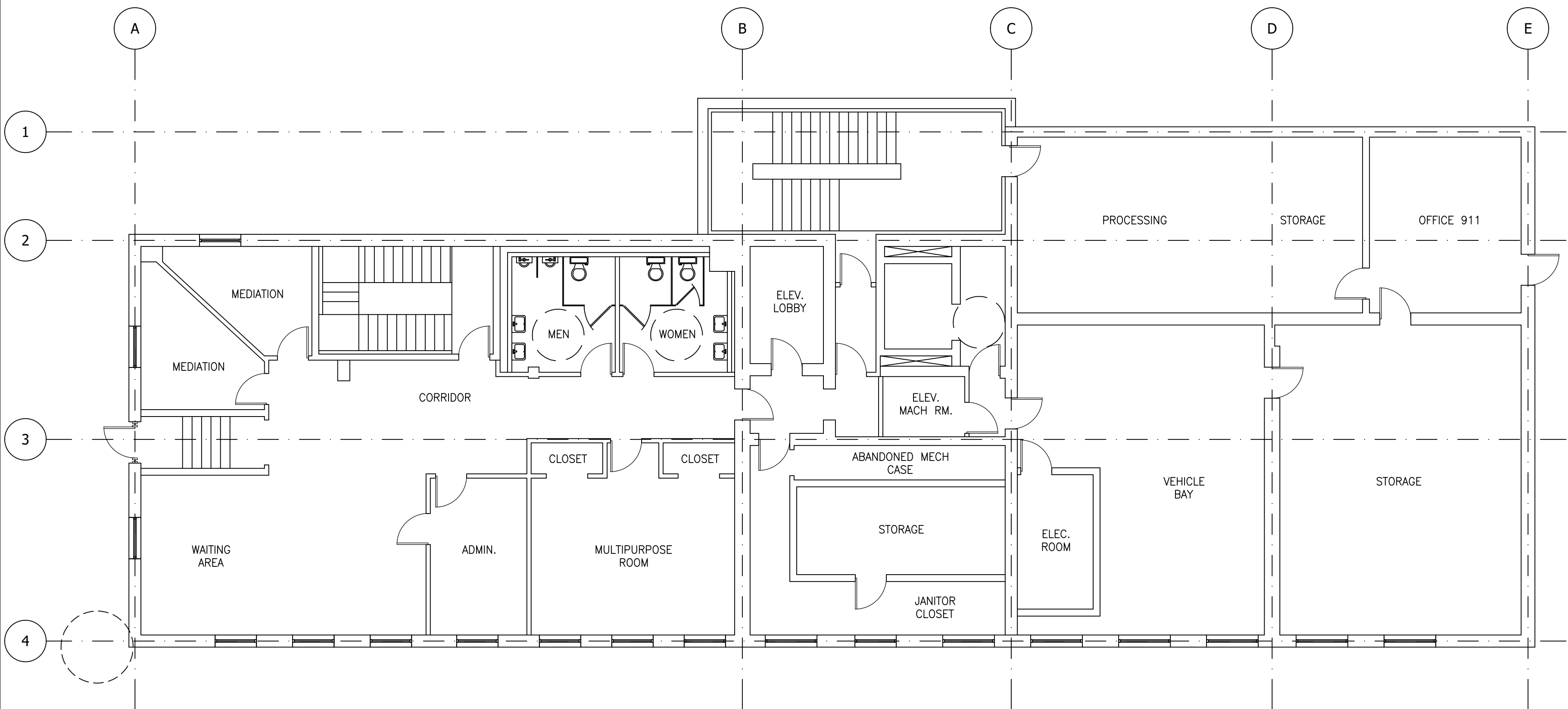
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PBC Contract No.: 00000  
Project No.: 04032  
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**2ND & 3RD FLOOR  
POWER PLAN**

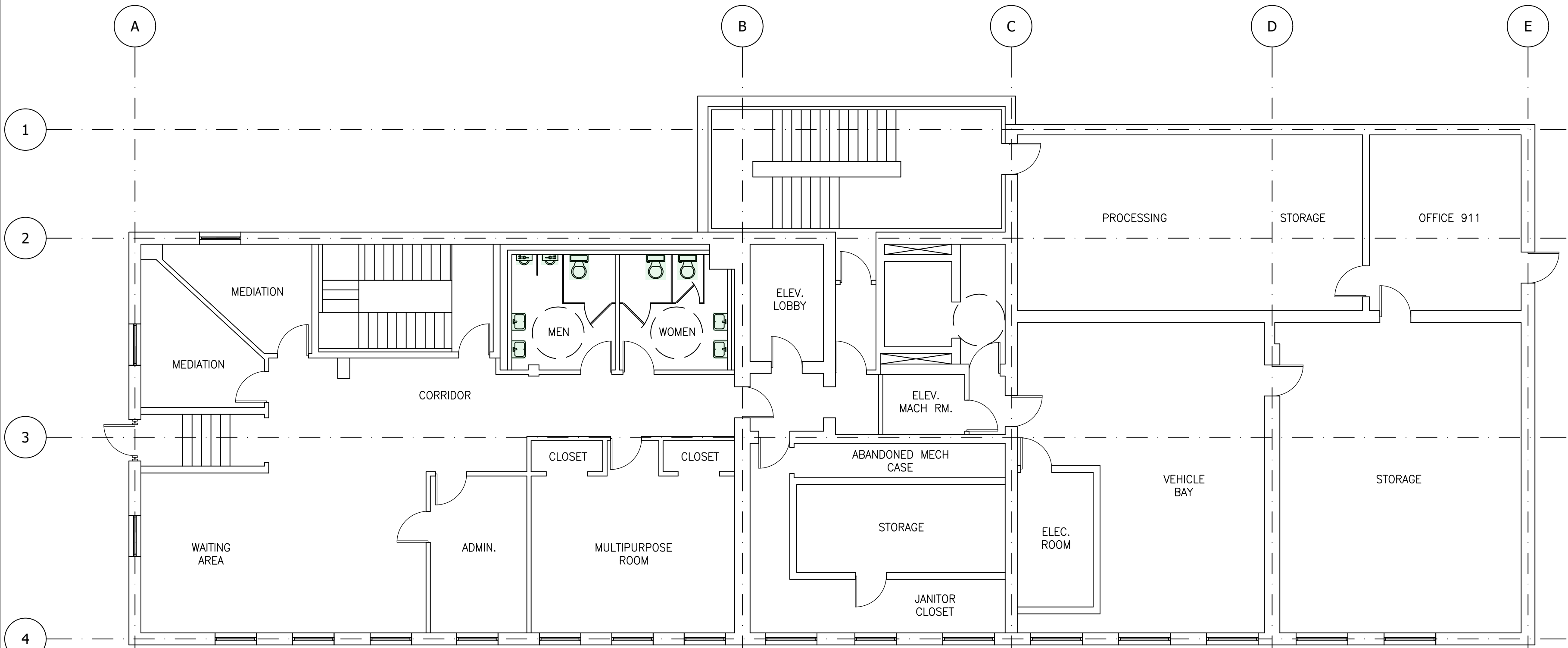


SYMBOLS

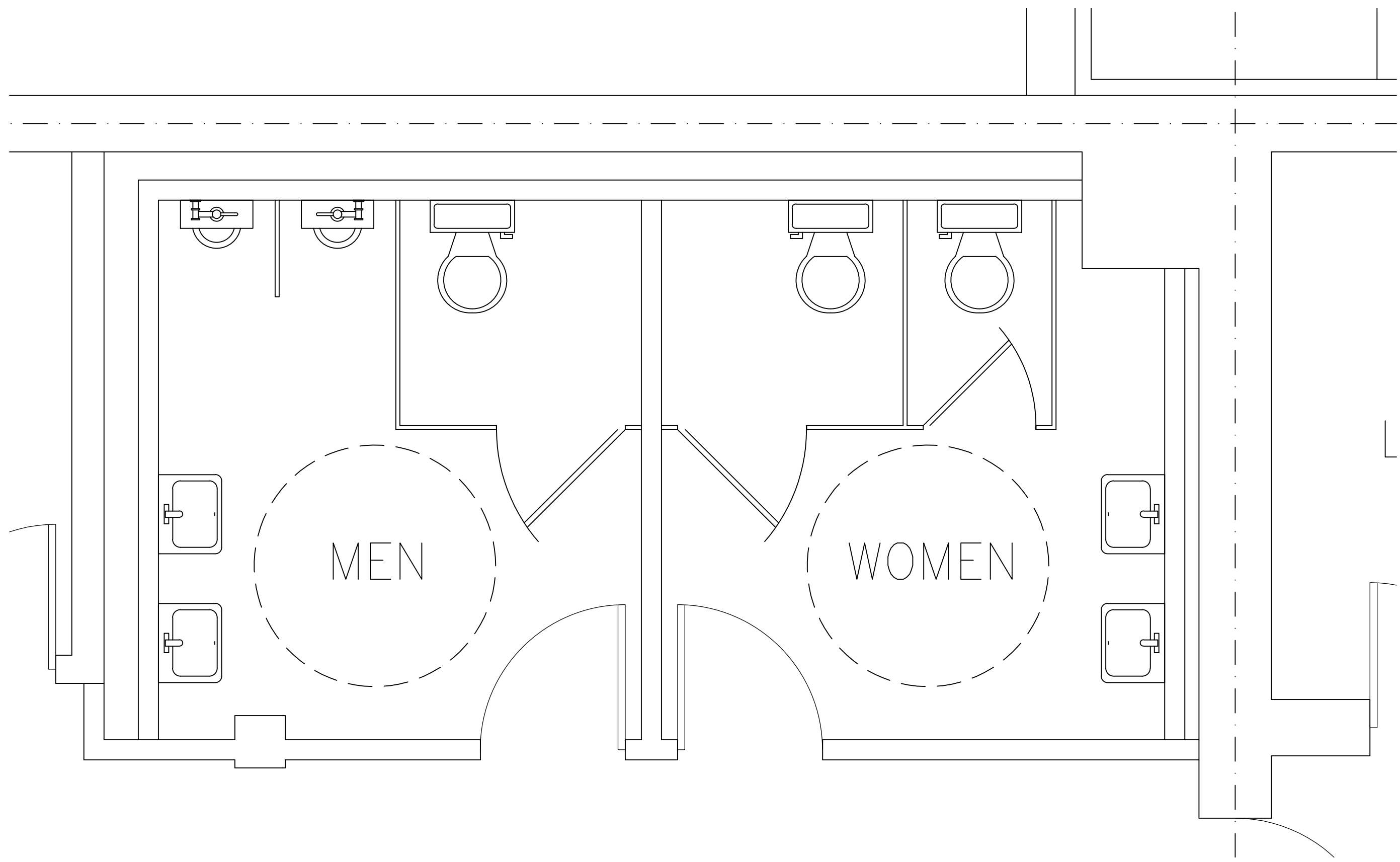
EXISTING PLUMBING TO DEMO



1 1ST FLOOR PLUMBING NEW WORK PLAN  
SCALE: 1/8" = 1'-0"



1 1ST FLOOR PLUMBING DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



1 MEN & WOMEN WASHROOM ENLARGE PLAN  
SCALE: 1/8" = 1'-0"



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SHAMBURG, ILLINOIS 60173  
WWW.HOHHGROUP.COM

NAME  
Chicago, IL  
Structural Engineers of Record

NAME  
Chicago, IL  
Landscape Architects of Record

NAME  
Chicago, IL  
Civil Engineers of Record

NAME  
Chicago, IL  
MEPPF Engineers of Record

NAME  
Chicago, IL  
Acoustics Consultant

NAME  
Chicago, IL  
Theatre Consultant

NAME  
Chicago, IL  
Food Service Consultant

Issuance		
Mark	Description	Date

PBC Project Name: JUVENILE DETENTION CENTER  
PBC Contract No.: 00000  
Project No.: 04032  
Title

1ST FLOOR PLUMBING

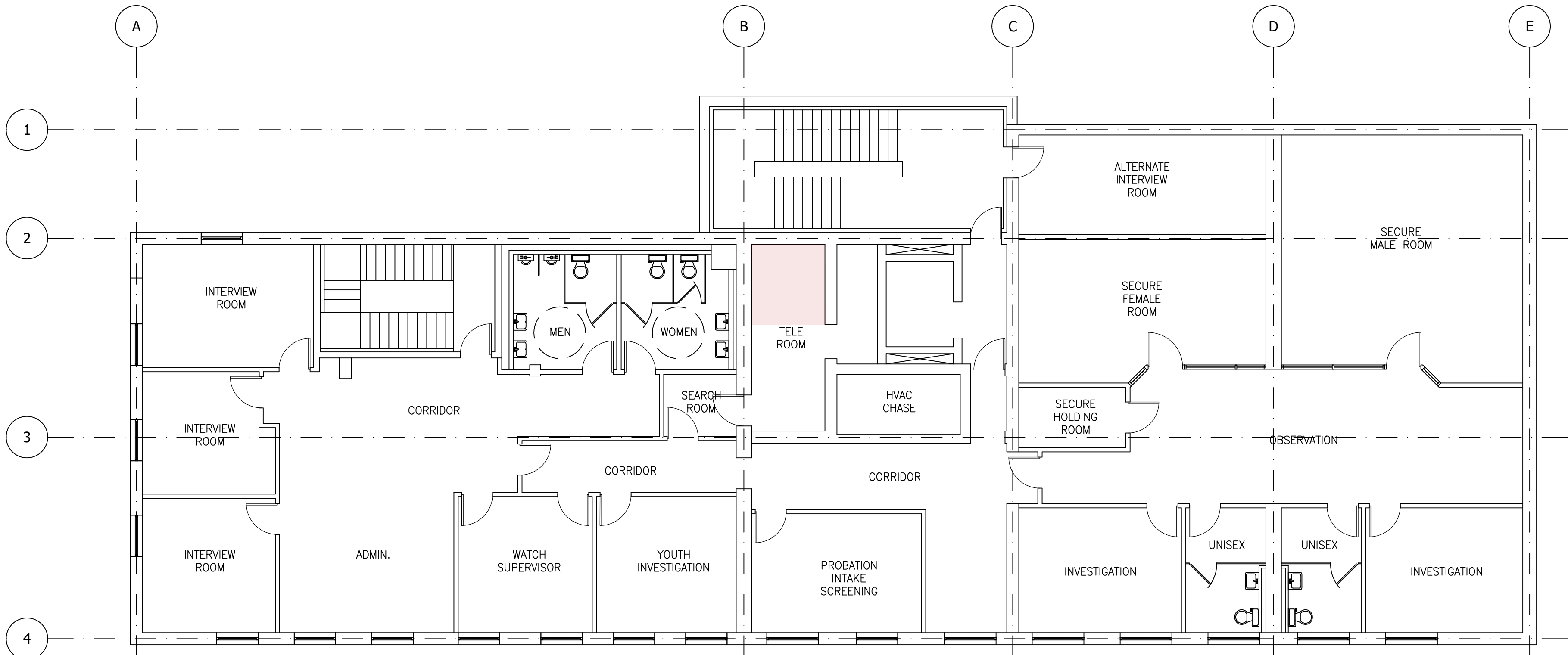


SYMBOLS

EXISTING PLUMBING TO DEMO

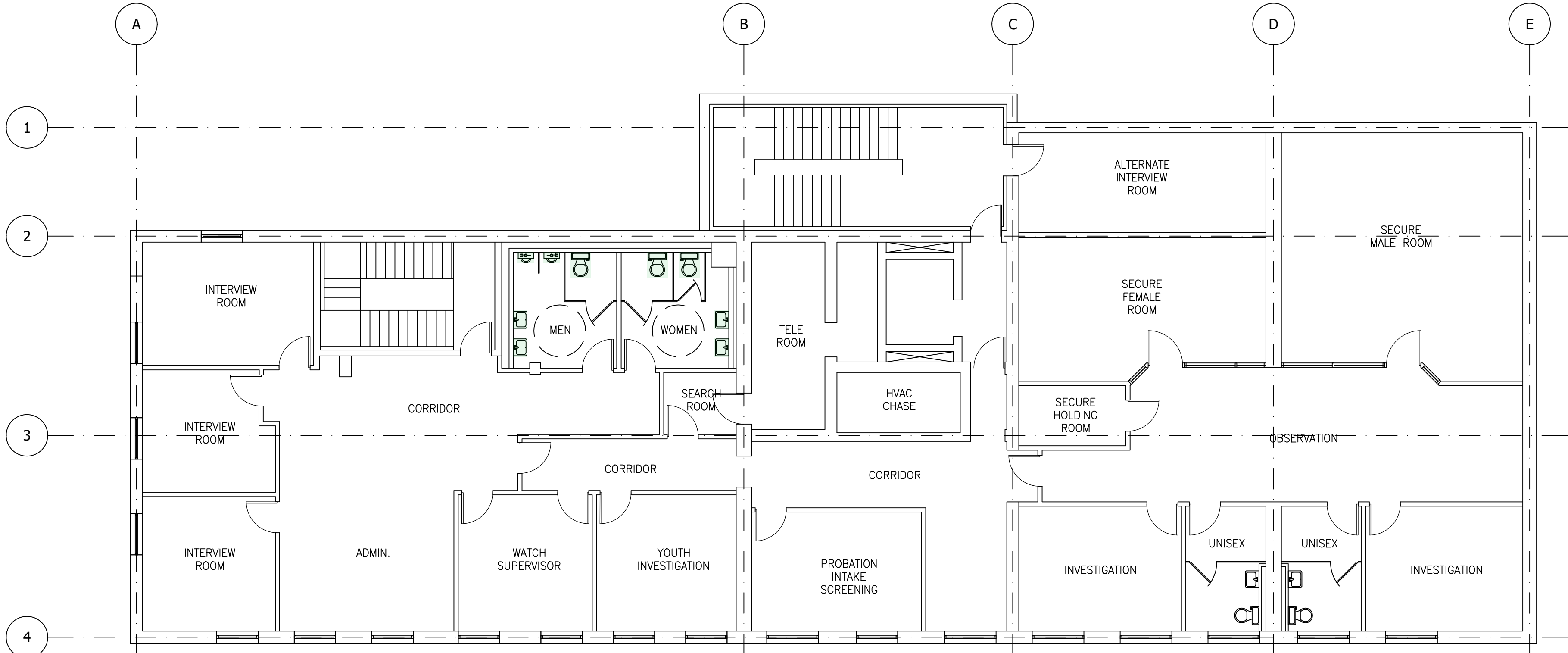


PROVIDE A DRIP PAN ABOVE TELECOMMUNICATION ROOM



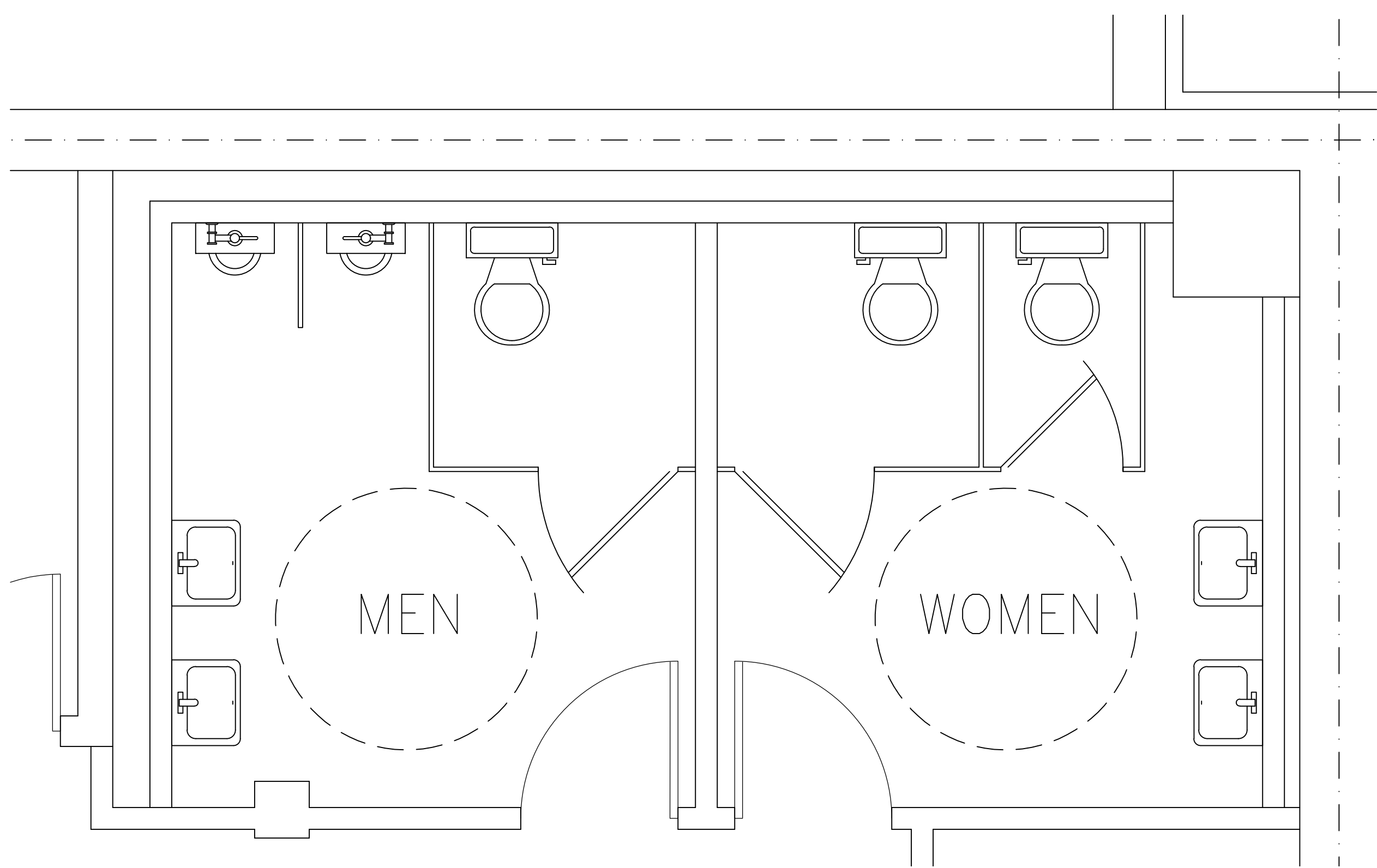
1 2ND FLOOR PLUMBING NEW WORK PLAN

SCALE: 1/8" = 1'-0"



2 2ND FLOOR PLUMBING DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



3 MEN & WOMEN WASHROOM ENLARGE PLAN

SCALE: 1/8" = 1'-0"



JUVENILE DETENTION CENTER

3900 S. CALIFORNIA AVE.  
CHICAGO, IL 60632

ASSETS, INFORMATION AND SERVICES  
CITY OF CHICAGO, COMMISSIONER DAVID REYNOLDS

Architect / Engineer of Record:  
THE HOH GROUP INC.

THE HOH GROUP, INC.  
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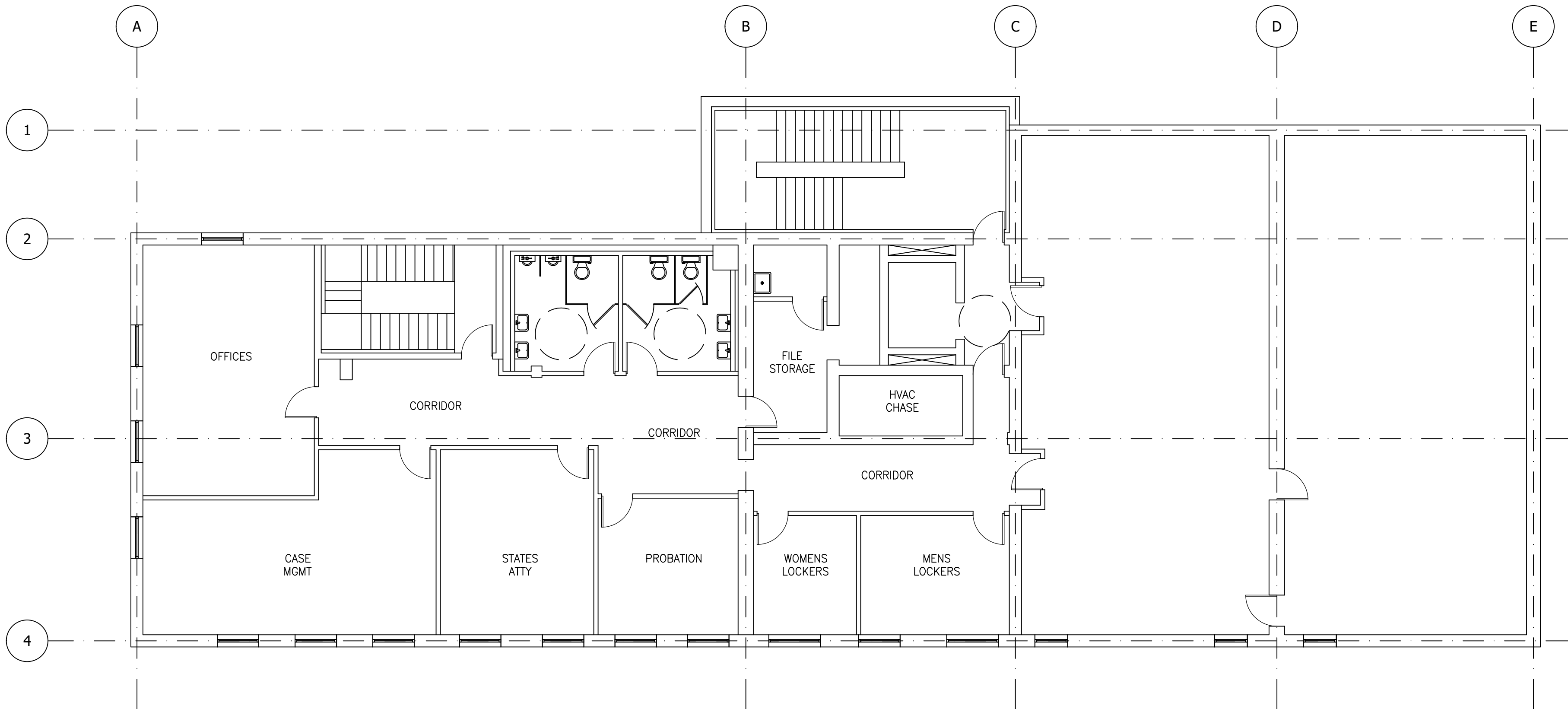
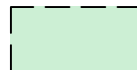
2ND FLOOR  
PLUMBING

Sheet



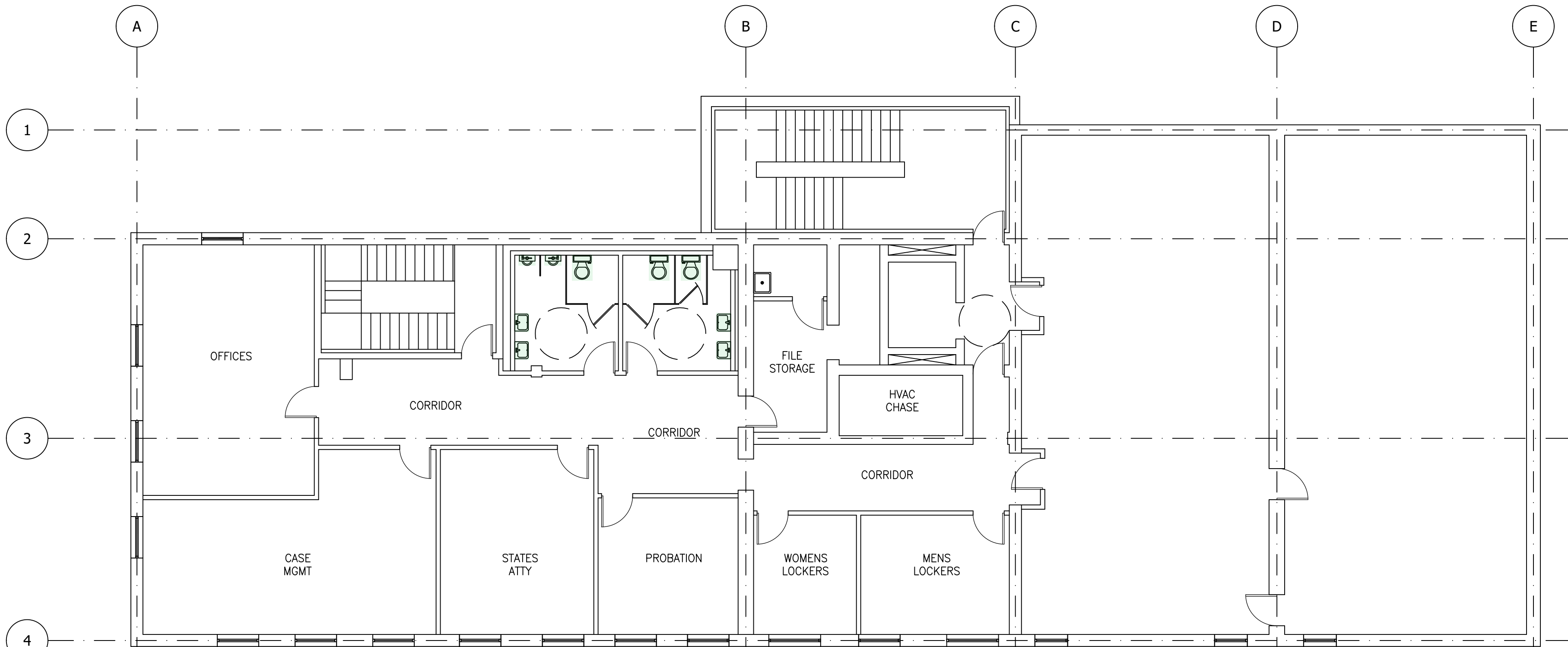
SYMBOLS

EXISTING PLUMBING TO DEMO



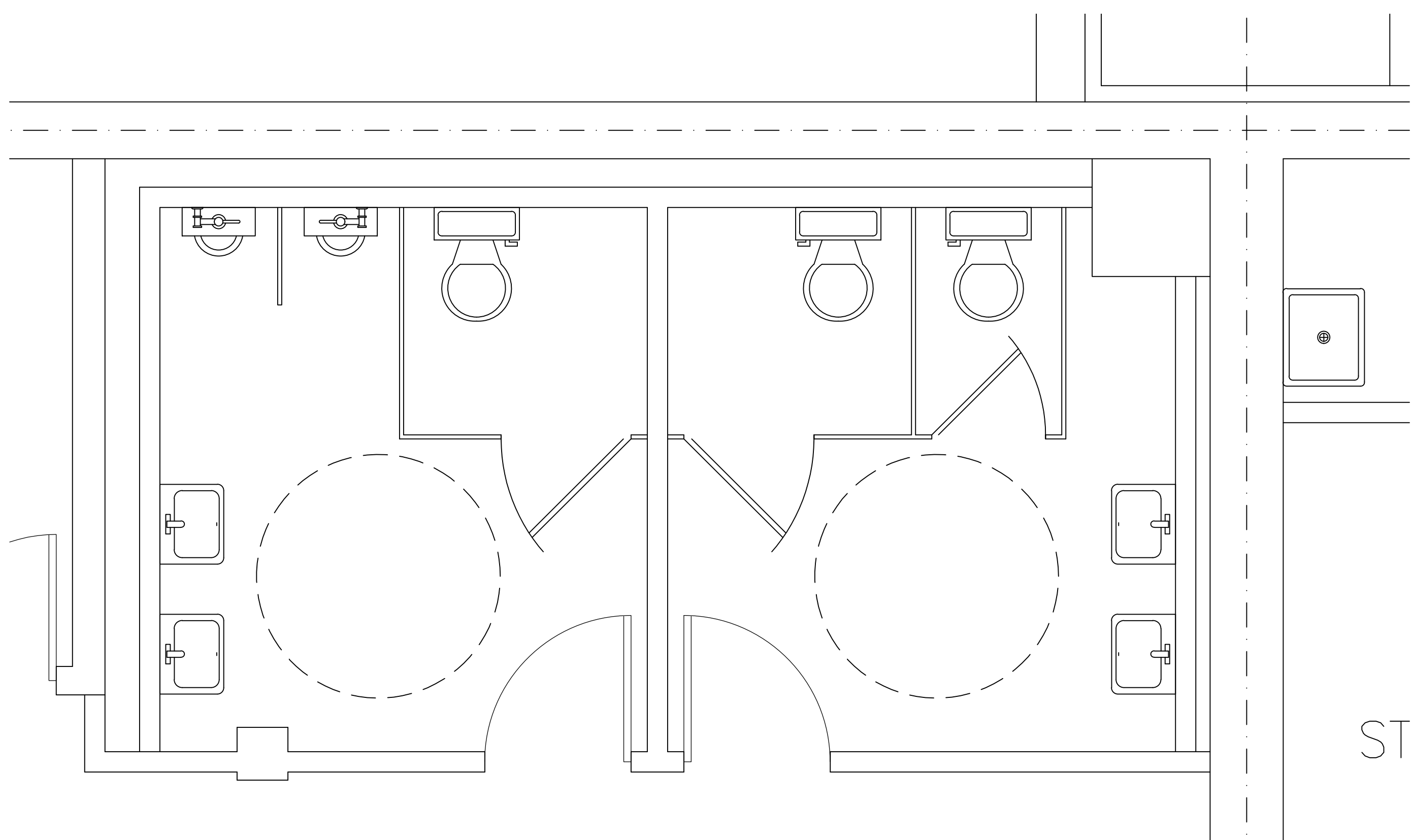
1 3RD FLOOR PLUMBING NEW WORK PLAN

SCALE: 1/8" = 1'-0"



2 3RD FLOOR PLUMBING DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



3 MEN & WOMEN WASHROOM ENLARGE PLAN

SCALE: 1/8" = 1'-0"



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3RD FLOOR  
PLUMBING

Sheet

P-101