



Management Report



The HOH Group, Inc.
Juvenile Intervention Center
3900 South California Avenue, Chicago, IL

Prepared For
The HOH Group, Inc.



Powered By



Site Overview



Total Sections: 5
Total Sq Ft: 6,343

Map	Name	Sq Ft	Est Install	Grade
1	West Roof	1,266	2005	D
2	Center Roof	1,240	2005	D
3	East Roof	3,463	2005	D
4	Stairway Roof	325	2005	F
5	Elevator Overrun Roof	48	2005	D

Oct 19, 2021 - 2:19PM

The HOH Group, Inc.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Composition

Section: West Roof

Size: 1266

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Test Cut 3
Wood Deck
Red Rosin
Base Sheet
2-ply Asphalt Felt Vapor Retarder
Polyiso Insulation
Perlite Coverboard
Modified Bitumen Roof System
White Acrylic Coating
Total 3-1/4" Thickness

Oct 19, 2021 - 2:19PM

The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Observations

Section: West Roof

Size: 1266

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Deficiencies

Section: West Roof
Size: 1266
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Sheet Metal- Gutter straps (Emergency)

Quantity: 1 EA

Deficiency:

The gutter straps are not installed properly. They should not be installed on the roof under the roof membrane.

Corrective Action:

This deficiency needs to be monitored and repaired as needed.



Modified Bitumen - Caulk- Caulking failure (Emergency)

Quantity: 1 LF

Deficiency:

The caulking has failed.

Corrective Action:

New caulking will be installed .

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Deficiencies (continued)

Section: West Roof
Size: 1266
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



General - Masonry- Masonry defective (Emergency)

Quantity: 1 LF

Deficiency:

The masonry on the parapet walls are absorbing water and infiltrating the roof system.

Corrective Action:

The roof membrane should wrap completely over the top of the parapet walls.



Modified Bitumen - Penetration- Plumbing vent lead flashing base (Emergency)

Quantity: 1 EA

Deficiency:

The base of the lead flashing is open.

Corrective Action:

The base of the lead flashing will be sealed with roof cement.

Deficiencies (continued)

Section: West Roof

Size: 1266

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Penetration- Improper Pipe Penetration Flashing (Emergency)

Quantity: 1 EA

Deficiency:

The pipe penetration has not been properly sealed.

Corrective Action:

The pipes will be sealed using a urethane liquid flashing material.



Modified Bitumen - Membrane- Membrane wrinkling and cracking (Emergency)

Quantity: 1 LF

Deficiency:

Membrane is beginning to crack.

Corrective Action:

The cracking will eventually lead to failure of the roof membrane.

Deficiencies (continued)

Section: West Roof
Size: 1266
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Loose Debris (Emergency)

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area.



Modified Bitumen - Penetration- Pitch Pan (Emergency)

Quantity: 1 EA

Deficiency:

The pitch pan around the pipe penetration needs to be refilled.

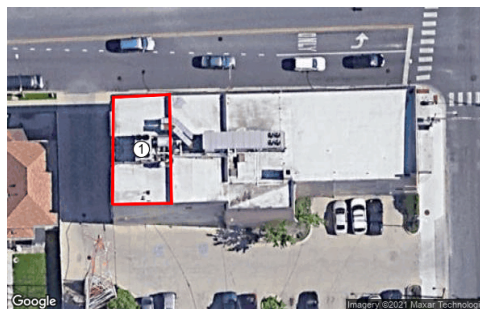
Corrective Action:

The pitch pan will be refilled to prevent water leakage.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Summary

Section: West Roof
Size: 1266
Overall Grade: D
Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: D
 Flashings: D
 Sheet Metal: C

Overall: D

Overall Grade

A = 10 Years or more of service life remaining
 B = 8-10 Years of service life remaining
 C = 5-7 Years of service life remaining
 D = 2-4 Years of service life remaining
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2025

Recommendations

The existing roof is reaching the end of its serviceable life. The field membrane is cracking. Improper details at gutter straps and penetrations are causing water infiltration. Interior parapet wall faces are absorbing water. Loose debris should be removed. Looking at satellite imagery, the roof was installed likely in 2005. A-1 recommends a complete tear-off and replacement.

Oct 19, 2021 - 2:19PM

The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Composition

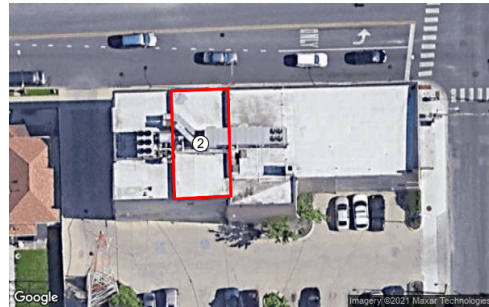
Section: Center Roof

Size: 1240

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



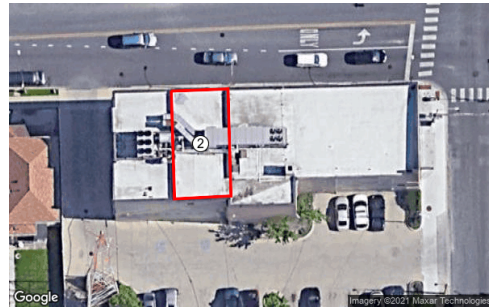
Test Cut 2
Wood Deck
Red Rosin
Base Sheet
2-Ply Asphalt Felt Vapor Retarder
Polyiso Insulation
Perlite Coverboard
Modified Bitumen Roof System
White Acrylic Coating
Total 3-1/4" Thickness

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Observations

Section: Center Roof
Size: 1240
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Deficiencies

Section: Center Roof
Size: 1240
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Sheet Metal - Sheet metal- coping joint. (Emergency)

Quantity: 1 EA

Deficiency:

The sheet metal coping joint caulking has failed.

Corrective Action:

The coping joint will be recaulked.



Modified Bitumen - Loose Debris (Emergency)

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Deficiencies (continued)

Section: Center Roof

Size: 1240

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Membrane- Puncture or Tear in Membrane (Emergency)

Quantity: 1 LF

Deficiency:

A tear has been discovered in the roof membrane.

Corrective Action:

The tear may have been due to a lack of an expansion joint at the stairway addition. An expansion joint should be installed.



Modified Bitumen - Membrane- Membrane wrinkling and cracking (Emergency)

Quantity: 1 LF

Deficiency:

Membrane is beginning to crack.

Corrective Action:

The cracking will eventually lead to failure of the roof membrane.

Deficiencies (continued)

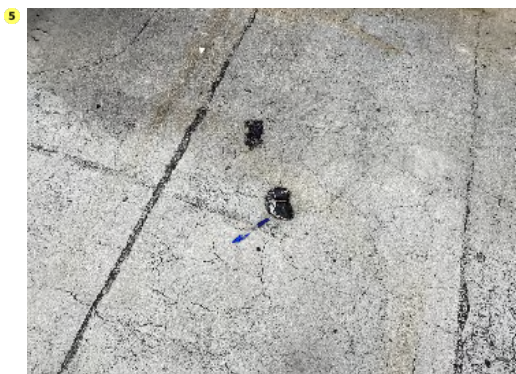
Section: Center Roof

Size: 1240

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Membrane- Puncture or Tear in Membrane (Emergency)

Quantity: 1 EA

Deficiency:

A puncture or tear has been discovered in the roof membrane.

Corrective Action:

The area surrounding the deficiency will be cleaned. A proper repair will be performed using compatible materials for the roof membrane type.



Modified Bitumen - Penetration- Improper Pipe Penetration Flashing (Emergency)

Quantity: 1 EA

Deficiency:

The pipe penetration has not been properly sealed.

Corrective Action:

The pipes will be sealed using a urethane liquid flashing material.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Deficiencies (continued)

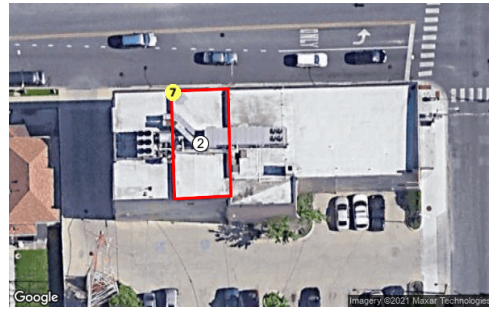
Section: Center Roof

Size: 1240

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Termination bar caulking. (Emergency)

Quantity: 1 LF

Deficiency:

Termination bar caulking is failing.

Corrective Action:

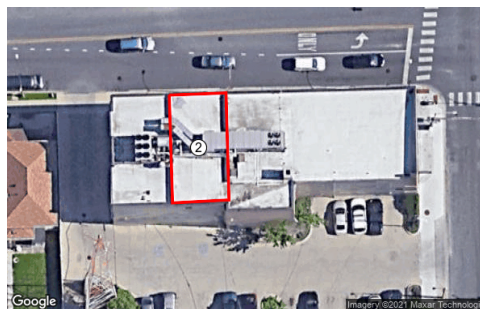
The caulking will be replaced in the failing areas with a 1 part polyurethane caulk.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Summary

Section: Center Roof
Size: 1240
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: D
 Flashings: D
 Sheet Metal: C

Overall: D

Overall Grade

A = 10 Years or more of service life remaining
 B = 8-10 Years of service life remaining
 C = 5-7 Years of service life remaining
 D = 2-4 Years of service life remaining
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2025

Recommendations

The existing roof is reaching the end of its serviceable life. The field membrane is cracking. Improper details at penetrations are causing water infiltration. Interior parapet wall faces are absorbing water. Loose debris should be removed.

The portion of the roof adjoining the stairway addition is beginning to split, likely due to the lack of an expansion joint. Looking at satellite imagery, the roof was installed likely in 2005. A-1 recommends a complete tear-off and replacement.

Oct 19, 2021 - 2:19PM

The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Composition

Section: East Roof

Size: 3463

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Test Cut 1
Wood Deck
Red Rosin
Base Sheet
2-ply Asphalt Felt Vapor Retarder
Polyiso Insulation
Perlite Coverboard
Modified Bitumen Roof System
White Acrylic Coating
Total 3-1/4" Thickness

Observations

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Deficiencies

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Membrane- Ponding (Emergency)

Quantity: 1 LF

Deficiency:

Ponding of water on the roof.

Corrective Action:

Ponding will lead to the premature failure of the roof membrane. This area needs to be monitored for deterioration.



General - Flashing- Open Flashing (Emergency)

Quantity: 1 LF

Deficiency:

The ductwork flashings are open and are not watertight.

Corrective Action:

The ductwork flashings should be sealed.

Deficiencies (continued)

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



General - Oxidation or Rust (Emergency)

Quantity: 1

Deficiency:

As the galvanized coating breaks down and the metal is exposed to the elements, oxidation or rust will take over and reduce the materials integrity.

Corrective Action:

Depending upon the level of corrosion, the metal may be able to be restored. A rust-inhibiting paint should be utilized.



Modified Bitumen - Loose Debris (Emergency)

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area.

Deficiencies (continued)

Section: East Roof

Size: 3463

Overall Grade: D

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Penetration- Improper Pipe Penetration Flashing (Emergency)

Quantity: 1 EA

Deficiency:

The pipe penetration has not been properly sealed.

Corrective Action:

The pipes will be sealed using a urethane liquid flashing material.



Modified Bitumen - Caulk- Caulking failure (Emergency)

Quantity: 1 LF

Deficiency:

The caulking has failed.

Corrective Action:

New caulking will be installed .

Deficiencies (continued)

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



General - Masonry- Masonry defective (Emergency)

Quantity: 1 EA

Deficiency:

The masonry on the parapet walls are beginning to deteriorate.

Corrective Action:

The roof flashing membrane should wrap up over the top of the parapet walls to stop water infiltration.



Modified Bitumen - Membrane-Defective patch (Emergency)

Quantity: 1 EA

Deficiency:

The membrane patch has failed.

Corrective Action:

The defective patch will be replaced.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Deficiencies (continued)

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



General - Masonry- Masonry defective (Emergency)

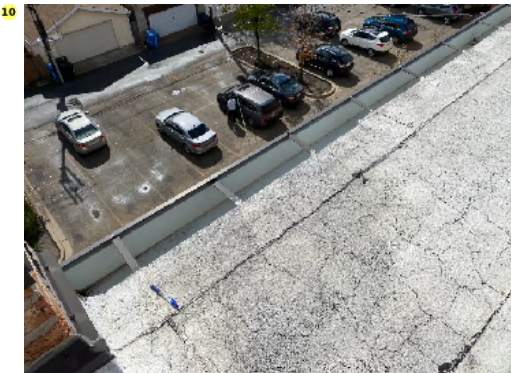
Quantity: 1 EA

Deficiency:

The masonry on the exterior walls are deteriorated and need to be repaired. Portions of the walls have exposed wood beams which may have originally been part of a sign structure.

Corrective Action:

Remove the exposed wood and repair the walls.



Modified Bitumen - Sheet Metal- Gutter straps (Emergency)

Quantity: 1 EA

Deficiency:

The gutter straps are not installed properly. They should not be installed on the roof under the roof membrane.

Corrective Action:

This deficiency needs to be monitored and repaired as needed.

Deficiencies (continued)

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Membrane- Membrane seam open (Emergency)

Quantity: 1 LF

Deficiency:

The seam on the membrane is open.

Corrective Action:

The seam will be patched with compatible materials to make the seam watertight.



General - Masonry- Masonry defective (Emergency)

Quantity: 1 EA

Deficiency:

The masonry at the chimney is deteriorated and needs to be repaired. No chimney cap is present.

Corrective Action:

Re-build unsound portions of the chimney. Tuckpoint the remaining portions of the chimney. Install a cap.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Summary

Section: East Roof
Size: 3463
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: D
 Flashings: D
 Sheet Metal: C

Overall: D

Overall Grade

A = 10 Years or more of service life remaining
 B = 8-10 Years of service life remaining
 C = 5-7 Years of service life remaining
 D = 2-4 Years of service life remaining
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2025

Recommendations

The existing roof is reaching the end of its serviceable life. The field membrane is cracking. Improper details at gutter straps and penetrations are causing water infiltration. Interior parapet wall faces are absorbing water. Loose debris should be removed.

Looking at satellite imagery, the roof was installed likely in 2005. A-1 recommends a complete tear-off and replacement.

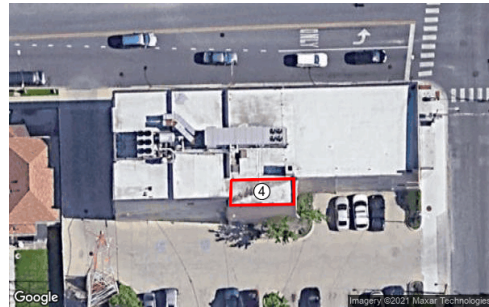
Oct 19, 2021 - 2:19PM
The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Composition

Section: Stairway Roof
Size: 325
Overall Grade: F

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



No Test Cut Performed
Steel Deck (suspected)

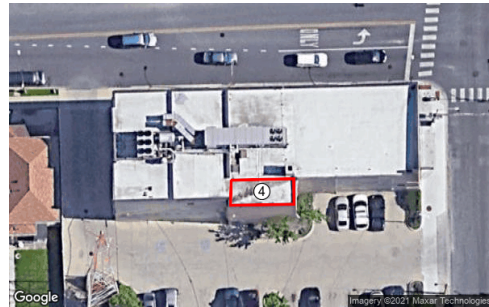
Oct 19, 2021 - 2:19PM
The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Observations

Section: Stairway Roof
Size: 325
Overall Grade: F

Inspection Date: 10/19/2021
Inspector: David Marcinkowski

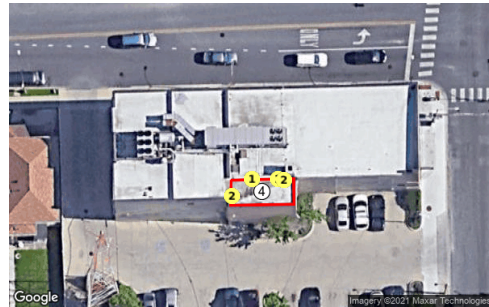


Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Deficiencies

Section: Stairway Roof
Size: 325
Overall Grade: F

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Flashing- Open Flashing (Emergency)

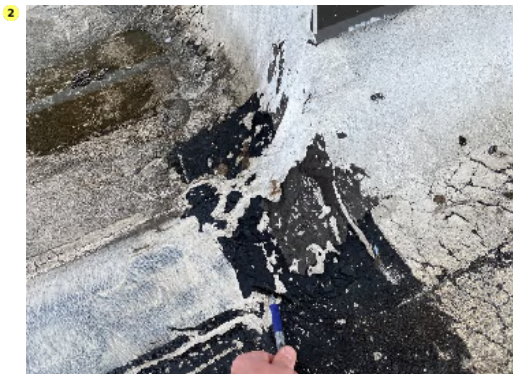
Quantity: 1 LF

Deficiency:

The flashings are open and are not watertight.

Corrective Action:

The flashings will be sealed.



Modified Bitumen - Flashing- Open flashing corner (Emergency)

Quantity: 1 EA

Deficiency:

The membrane flashing corner is open.

Corrective Action:

The corner will be repaired to make the flashing watertight.

Deficiencies (continued)

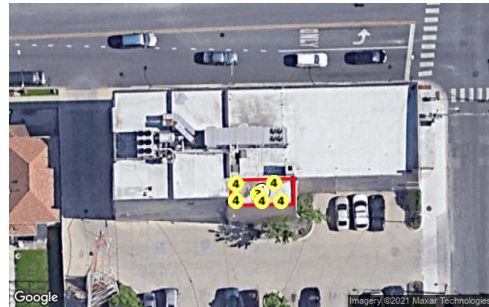
Section: Stairway Roof

Size: 325

Overall Grade: F

Inspection Date: 10/19/2021

Inspector: David Marcinkowski



Modified Bitumen - Membrane- Ponding (Emergency)

Quantity: 1 Sq Ft

Deficiency:

Ponding of water on the roof.

Corrective Action:

Ponding has lead to the premature failure of the roof membrane.



General - Leaking Area (Emergency)

Quantity: 1 Sq Ft

Deficiency:

The roof is leaking in this area.

Corrective Action:

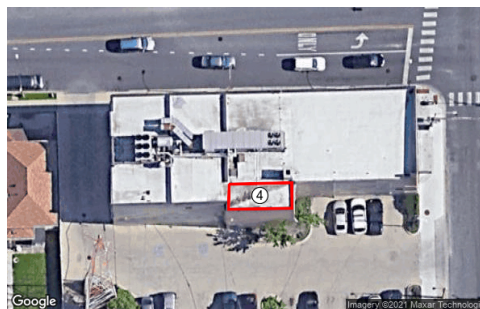
The roof will be inspected in this area and deficiencies repaired as needed.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Summary

Section: Stairway Roof
Size: 325
Overall Grade: F

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: F
 Flashings: F
 Sheet Metal: C

Overall: F

Overall Grade

A = 10 Years or more of service life remaining
 B = 8-10 Years of service life remaining
 C = 5-7 Years of service life remaining
 D = 2-4 Years of service life remaining
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2022

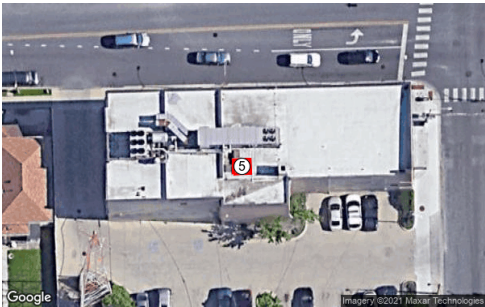
Recommendations

The existing roof has reached the end of its serviceable life. The field membrane has failed due to ponding water. It is likely due to flashing height restrictions with the Center and East Roofs that tapered insulation was never installed. A-1 recommends the installation of an expansion joint curb installed between the Center Roof and the Stairway Roof to alleviate this issue. The Center Roof would then require a new wall scupper for drainage. Looking at satellite imagery, the roof was installed likely in 2005. A-1 recommends a complete tear-off and replacement. The roof is actively leaking.

Composition

Section: Elevator Overrun Roof
Size: 48
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



No Test Cut Performed
Steel Deck

Site Overview	Section 1	Section 2	Section 3	Section 4	Section 5	Budget Matrix	Observations	Deficiencies	Summary
---------------	-----------	-----------	-----------	-----------	-----------	---------------	--------------	--------------	---------

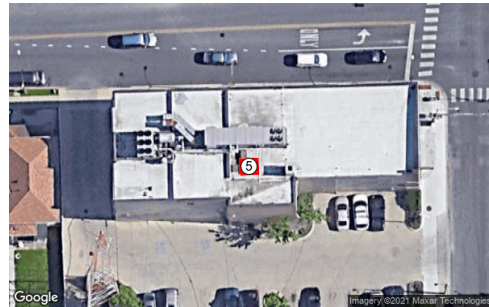
Oct 19, 2021 - 2:19PM
The HOH Group, Inc.

Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632

Observations

Section: Elevator Overrun Roof
Size: 48
Overall Grade: D

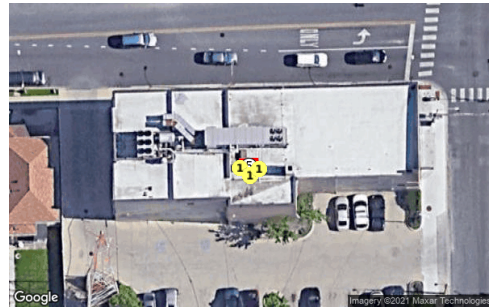
Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Deficiencies

Section: Elevator Overrun Roof
Size: 48
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Modified Bitumen - Sheet Metal- Gravel stop missing. (Emergency)

Quantity: 1 LF

Deficiency:

The gravel stop is missing.

Corrective Action:

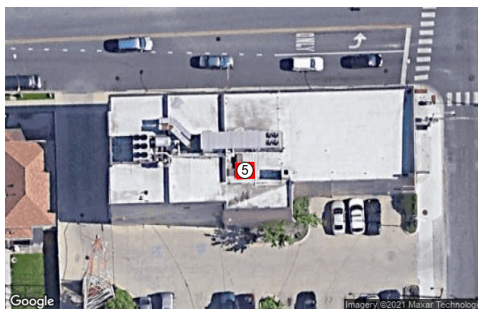
The gravel stop will be installed where missing.

**Juvenile Intervention Center
3900 South California Avenue
Chicago, IL 60632**

Summary

Section: Elevator Overrun Roof
Size: 48
Overall Grade: D

Inspection Date: 10/19/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: D
Flashings: D
Sheet Metal: F

Overall: D

Overall Grade

A = 10 Years or more of service life remaining
B = 8-10 Years of service life remaining
C = 5-7 Years of service life remaining
D = 2-4 Years of service life remaining
F = Less than 1 Year of service life remaining

Estimated Replacement: 2025

Recommendations

The existing roof is reaching the end of its serviceable life. The field membrane is cracking. Perimeter metal edge was never installed. Looking at satellite imagery, the roof was installed likely in 2005. A-1 recommends a complete tear-off and replacement.