

PERSHING ROAD BUILDINGS

1869 W Pershing Road, Chicago, IL 60609

5-Year Program 09/02/2021

HARDING MODE JOINT VENTURE

TABLE OF CONTENTS

Introduction	1
Executive Summary	2 - 5
Existing Floor Plans	6 - 12
Room Program Worksheets	13 - 31
Test Fit Floor Plans	32 - 38
Select Meeting Notes	39 - 50
Central Building Test Fit Floor Plans	51 - 57
Central Building Existing Floor Plans	58 - 64

INTRODUCTION

Harding Mode Joint Venture (HMJV) was retained by the Public Building Commission of Chicago to collaborate with the Chicago Department of Assets, Information, and Services (AIS) to work with AIS staff and users of 1869 West Pershing Road, the West Building, to develop a Five Year Program of potential improvements to the building. This Programming Report is complimentary to the Assessment Reports for 1869, 1819, and 1769 West Pershing Road by HMJV that was part of the same series task orders. The Assessment Reports identify pressing building code and technical issues. This Five Year Programming Report does not repeat information found in those reports.

1869 West Pershing Road, 1819 West Pershing Road, and 1769 West Pershing Road were completed in 1919 and 1920 for the U.S. Army Quartermaster Corp as warehouse buildings to support the U.S. Army in World War I and beyond. Their construction was robust and tailored to warehouse use. Intrinsicly the buildings are eminently well suited to AIS warehouse use, although they do suffer from deferred maintenance which AIS has started addressing.

HMJV appreciates the cooperative spirit of the AIS staff and their willingness to accommodate our many site visits and meetings necessary to do this work.

EXECUTIVE SUMMARY

Programming for the West Building was focused on working with AIS staff and key users to identify challenges and opportunities that could be addressed through a five-year plan for the West Building at 1869 Pershing Road. This information is distilled into the Program Overview, Room Program Worksheets, Meeting Notes, Existing Floor Plans and Test Fit Floor Plans in this report.

The building at its most basic level is very modular with its 18' x 18' bays which were ideally suited to its original use as a US Army Quartermaster Copr. warehouse. Each bay was originally designed for storage on both sides of a central aisle. AIS uses most of the building in the same way. The 18 'x 18' structural bays work well with today's standard 40" wide x 48" long pallets. An 18' wide bay provides space for 48" deep pallets on either side of a center circulation zone. Other uses such as workshops and limited office easily tuck into the building's modular structure. Most freight elevators, except for one, are inoperable are distributed throughout the floor plates. The top floor with its high floor to ceiling height and light monitors is conducive to a special use of some sort. At the very least, it lends itself to a pallet rack system as opposed to the current floor stack system. This would substantially increase the storage capacity in that area.

Evolving Space Needs

Functional needs evolve over time in response to changing circumstances and technology. The largest potential changes to the West Building come from two of the largest users of the building outside of AIS, Chicago Department of Public Health (CDPH) and Board of Elections (BOE). Chicago Department of Public Health currently occupies 56,500 square feet on two floors. They would like to increase their storage and operational space in the building by adding another 44,000 square feet in the West Building. This is equal to 75% of the net floor area of a typical floor. CDPH design requirements are robust and largely mandated by the Federal Government. CDPH would also like to buildout a command center to manage their operations in the event of an emergency, including a mass casualty event. Chicago Board of Elections on-site management staff, ironically, expressed a desire to move their operations, which utilize two floors, out of the West Building into the Central Building for operational efficiency. Currently they use most of the Central Building which ideally would be renovated to address what BOE regards as serious issues due to deferred maintenance. AIS is currently addressing some of the most pressing issues with reroofing, exterior façade rehabilitation and tunnel infill projects. More work is being considered by AIS to address building code issues in the Central Building. Other changes to area allocations in the West Building include the vacation of the northwest corner of the first floor by CFD, shifting of AIS custodial storage to that space and modest shop expansion on the sixth floor shops. Sixth floor trade shops also need modest internal upgrades, including battery rooms specialized ventilation, additional 120 volt outlets, 240 volt power and outlets, forklift doors and metal stud and drywall partitions at corridors.

EXECUTIVE SUMMARY

Conflicting Security Requirements Between CDPH and BOE

CDPH has robust security and staff requirements. BOE uses temporary staff with minimal security staff requirements. This creates potential security issues and operational challenges. This is another reason to shift BOE out of the West Building for consolidated BOE operations in the Central Building.

Freight Elevators

A major source of frustration for many building users are the freight elevators. At present there is only one working freight elevator in this large 630,000 s.f. building. This is equal to the size of 3 average US high school buildings. One working elevator is insufficient for Chicago Department of Public Health and Chicago Board of Election ordinary needs. CDPH alone needs 3 working elevators. Elevator W7 is tied back to the CDPH generator. The other 2 elevators need to be connected to emergency generators. In times of peak CDHP and BOE activity, i.e. elections, the one working freight elevator is grossly insufficient. AIS is contemplating retaining an elevator consultant to identify the best solution to this problem.

Specialized Ventilation and Dust Collection

AIS staff requested special ventilation for limited trade shop areas and dust collection systems for health reasons. AIS staff identified desired equipment upgrades for the carpenters shop, the painters shop and the welding shop. Existing use of these shops and requested equipment upgrades would be enhanced with recommended dust collection systems. These shops also require special ventilation and rooms for the storage of hazardous materials. In general, these shops have insufficient outlets and insufficient 240-volt power for larger equipment.

Battery Rooms

AIS staff requested battery rooms, which are recommended for fire safety and worker health reasons. The addition of battery rooms will trigger AIS staff requested physical changes to existing shops to accommodate battery rooms for the storage and recharging of batteries, in addition to providing workbenches tailored to this technology. Lithium ion batteries off-gas and represent a fire hazard. AIS staff requested, and OSHA requires, battery rooms with ventilation to the exterior and a physical arrangement to prevent the escape of fumes, gases, or unlikely electrolyte spray into other work areas. AIS staff articulated a need for storage racks, charging stations and benches in the battery room. There is also a need for nearby emergency eye wash stations with first aid supplies.

EXECUTIVE SUMMARY

Forklift Design Considerations

Forklifts are the primary means to move goods and supplies through the West Building. As the building is renovated, design for forklifts becomes an important consideration. Most floors have a relatively low floor to floor height for contemporary warehouse operations. Conventional approaches to Mechanical, Electrical, Plumbing, Fire Protection with each system occupying its own layer and the resulting loose fit will potentially create clearance issues. Careful attention must be given to the tight integration of these systems so that appropriate clearances are maintained for loaded forklifts. Forklifts require special doors into each space and work best with a coiling, fire rated overhead door, and a separate staff door. As spaces are built out, adjacent corridors need to be designed and/or modified to efficiently meet the needs of forklifts. Low ductwork, sprinkler pipes, lighting and hanging exit signs are problematic. Existing corridor width and configuration appear to have evolved in a compromised manner. Some are too narrow, while others are too wide. Many are circuitous, reducing forklift movement efficiency. As future building projects are undertaken, it is recommended that corridors use an industry standard minimal width of 13'-0" for 2 way forklift circulation. In front of most freight elevators, there is a row of columns that precludes this. One possible solution that should be considered and tested with AIS staff is a 6'-6" forklift circulation zone on each side of the open row of columns. Forklift accessibility access into the freight elevators would need to be tested by AIS staff. Consideration should be given to long straight corridors, avoiding fragmented corridors with twists and turns that are ill-suited to efficient forklift circulation. An example of this approach is shown in the West Building, Test Fit, Third Floor Plan which shows one option for the new CDPH floor plan. This floor plan is included in this report.

Future-Proofing and Flexibility

The Pershing Road Buildings are solid "work horse" structures that were designed to be flexible and accommodating of changes and robust wartime functional needs by the US Army Quartermaster Corp in 1918 and 1919. The buildings are inherently flexible, although some Chicago Public Schools' changes created compromises. Maintaining this flexibility and incorporating strategies that accommodate future changes in technology has the potential to provide for future cost savings and enhance building operations. Future-proofing should be considered with the incremental build out of new spaces within the buildings. The approach will favor floor plans that are organized with a straightforward circulation system that are also the primary spine for mechanical, electrical, plumbing, fire protection and very importantly for low voltage wiring, and data and communication wiring. Subdividing the usable areas within the scheme is best done with "loose fit" strategies. With this approach, tenant improvements could be easily reversed and the space repurposed with minimal expense and disruption.

EXECUTIVE SUMMARY

Mechanical, Electrical and Plumbing Upgrades

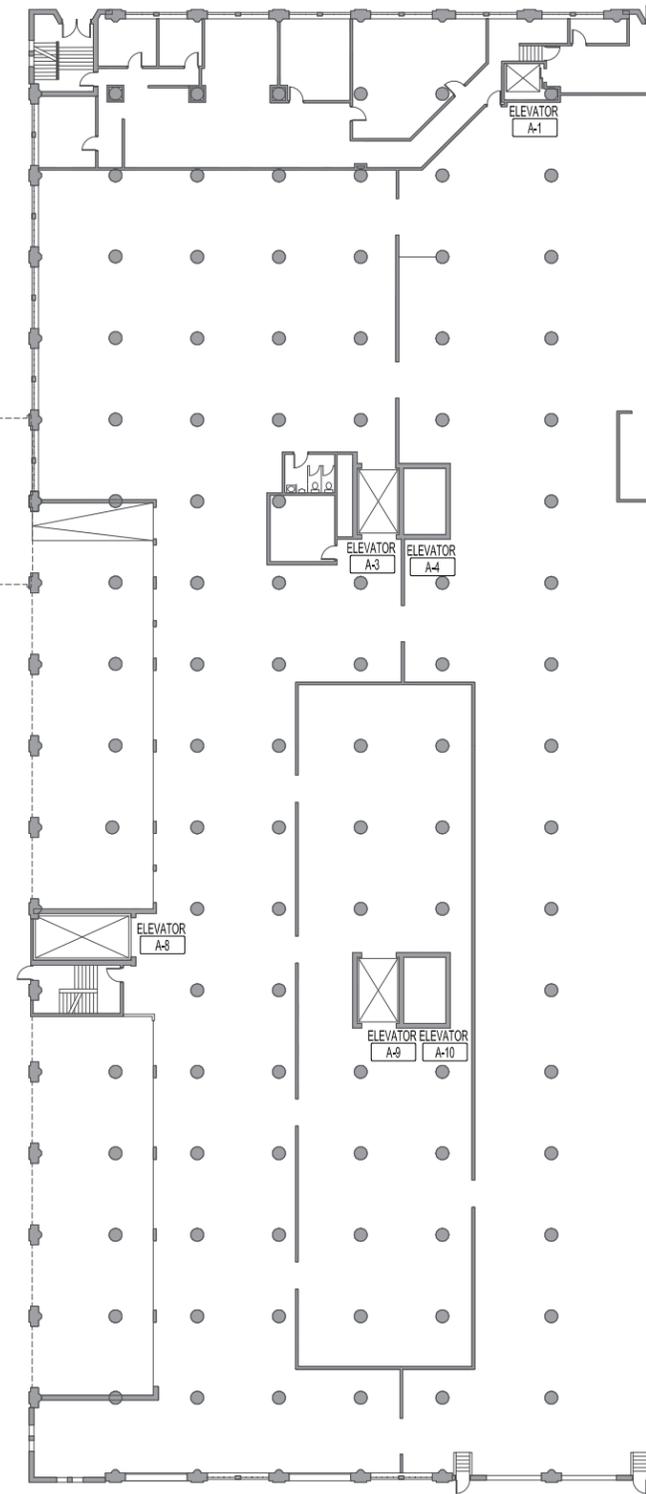
The West Building is in need of mechanical, electrical, plumbing and fire protection upgrades. Those upgrades are described in the Assessment Report.

Energy Conservation

The City of Chicago faces economic challenges that are a major driver of construction budgets. The West Building is a very large building with substantial energy needs and operating expenses. Building operating costs typically far outweigh initial construction cost over the life of a typical project. As the city makes difficult choices with regard to proposed projects in the West Building, consideration should be given to balancing initial construction cost with energy and operational costs. Prime examples would include using appropriate level of insulation at the roof and exterior walls, energy efficient lighting, energy efficient HVAC equipment and controls.

Test Fit Floor Plans

Test Fit floor plans were developed by HMJV. They illustrate how the five year program could fit within the existing building if BOE were to vacate the West Building and relocate into the Central Building.

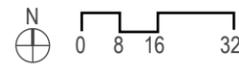


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

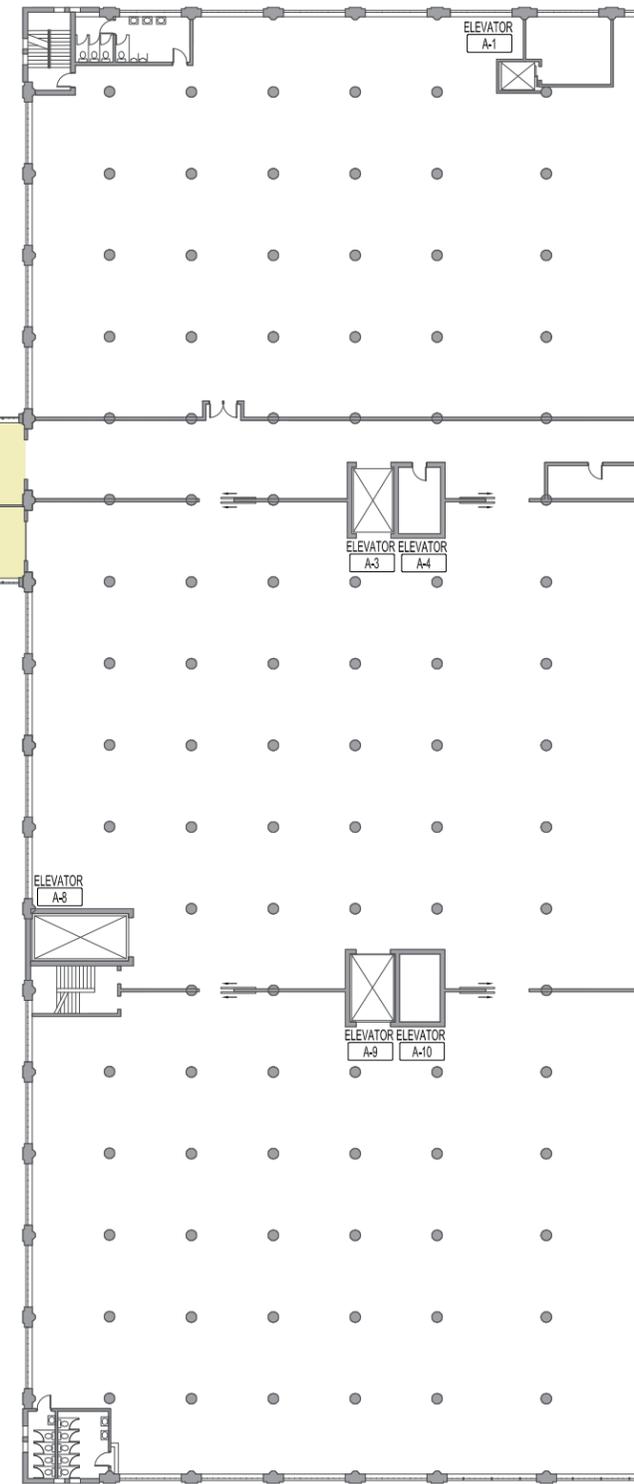
WALCOTT STREET

HONORE STREET

Existing First Floor Plan



1869 Existing

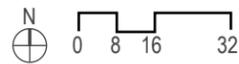


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

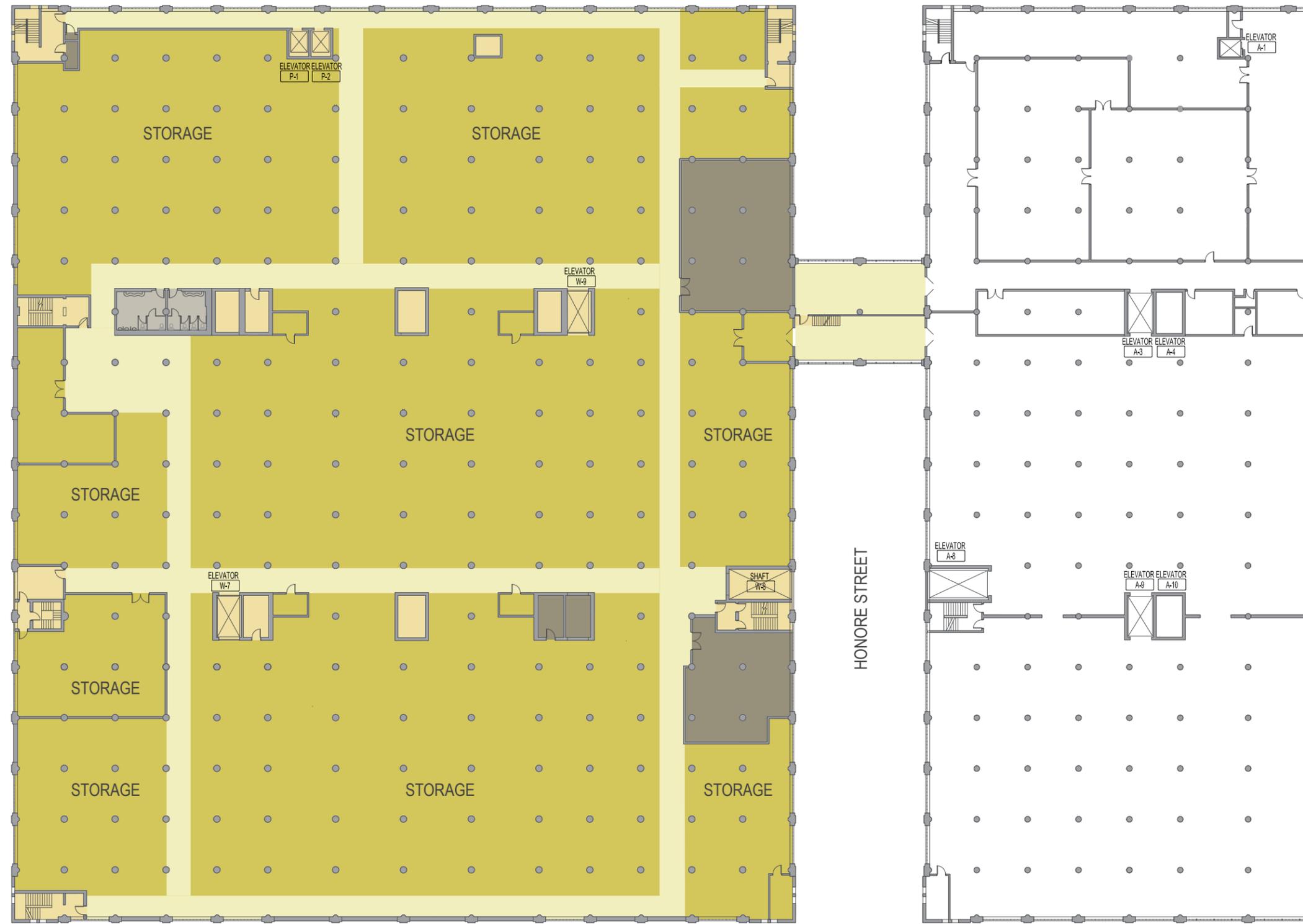
WALCOTT STREET

HONORE STREET

Existing Second Floor Plan

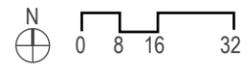


1869 Existing

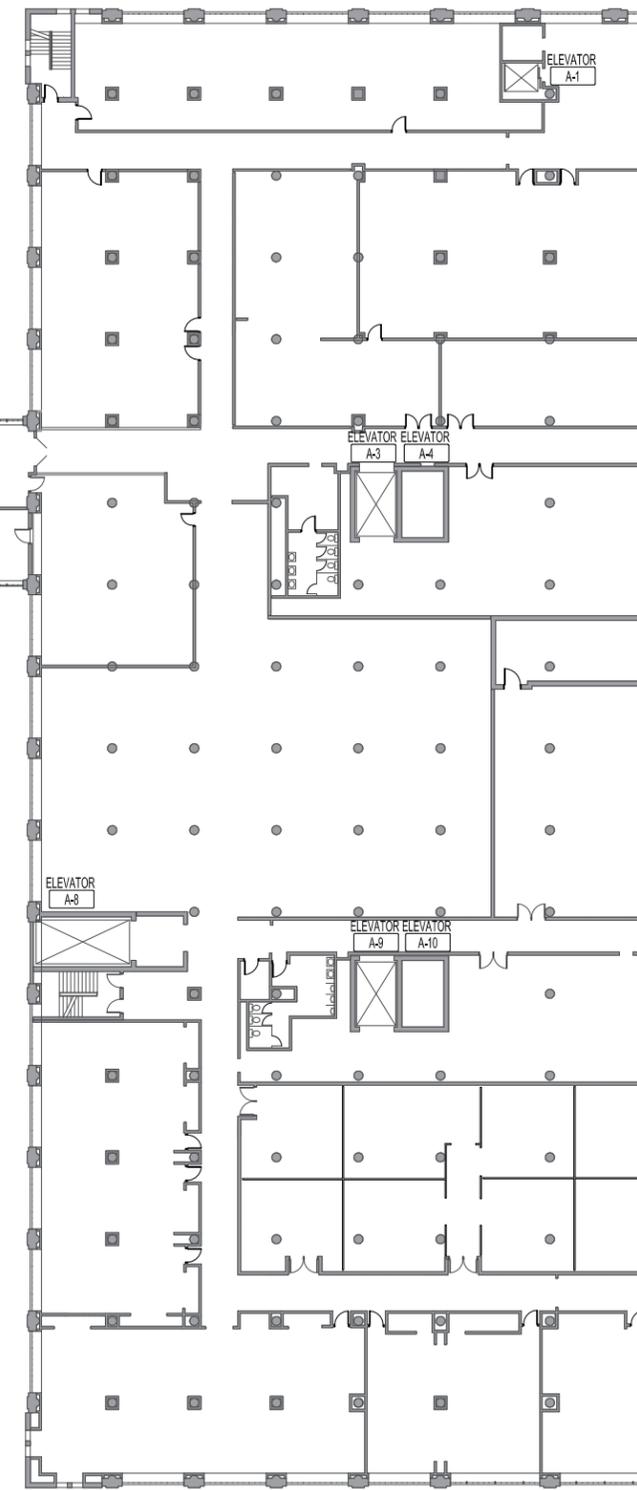


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

Existing Third Floor Plan



1869 Existing

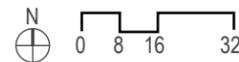


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

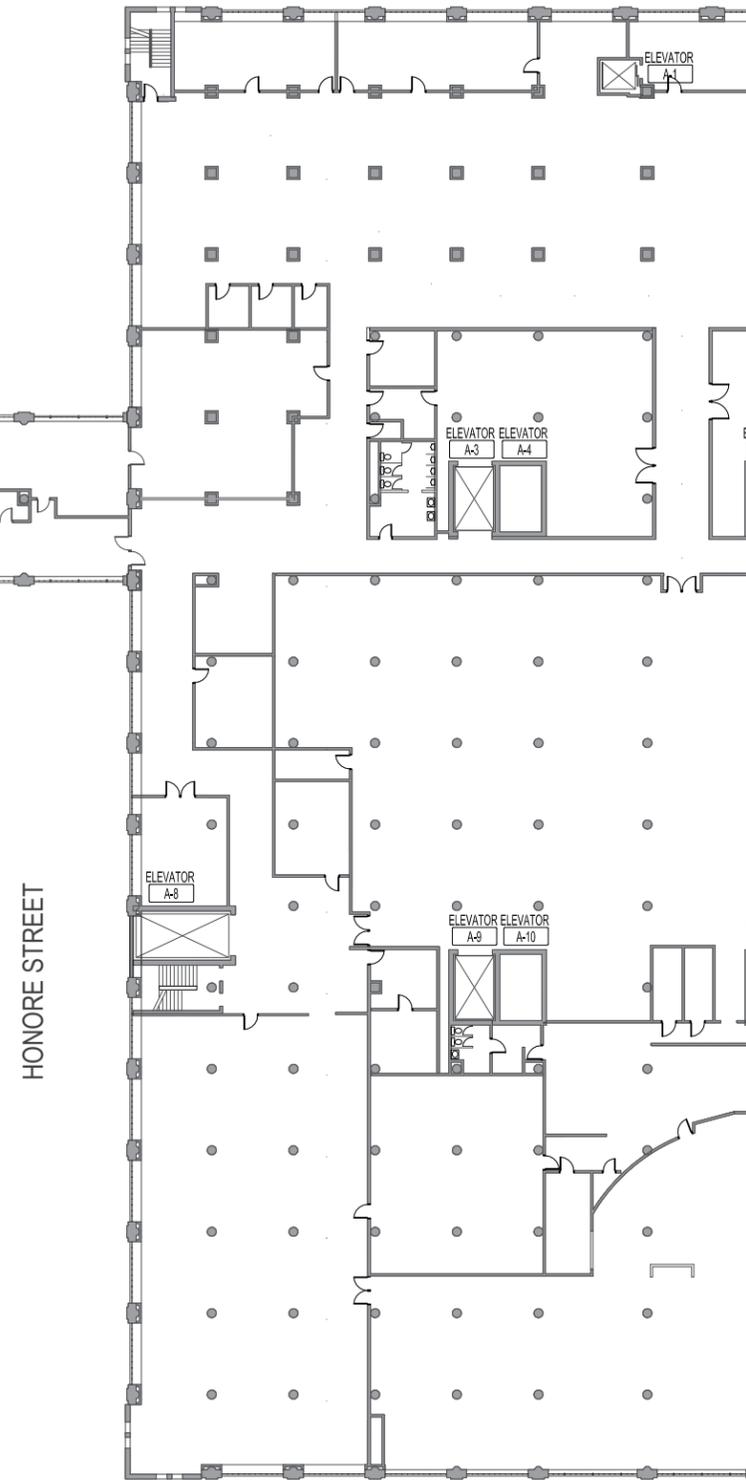
WALCOTT STREET

HONORE STREET

Existing Fourth Floor Plan



1869 Existing

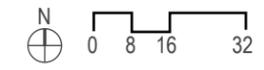


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

WALCOTT STREET

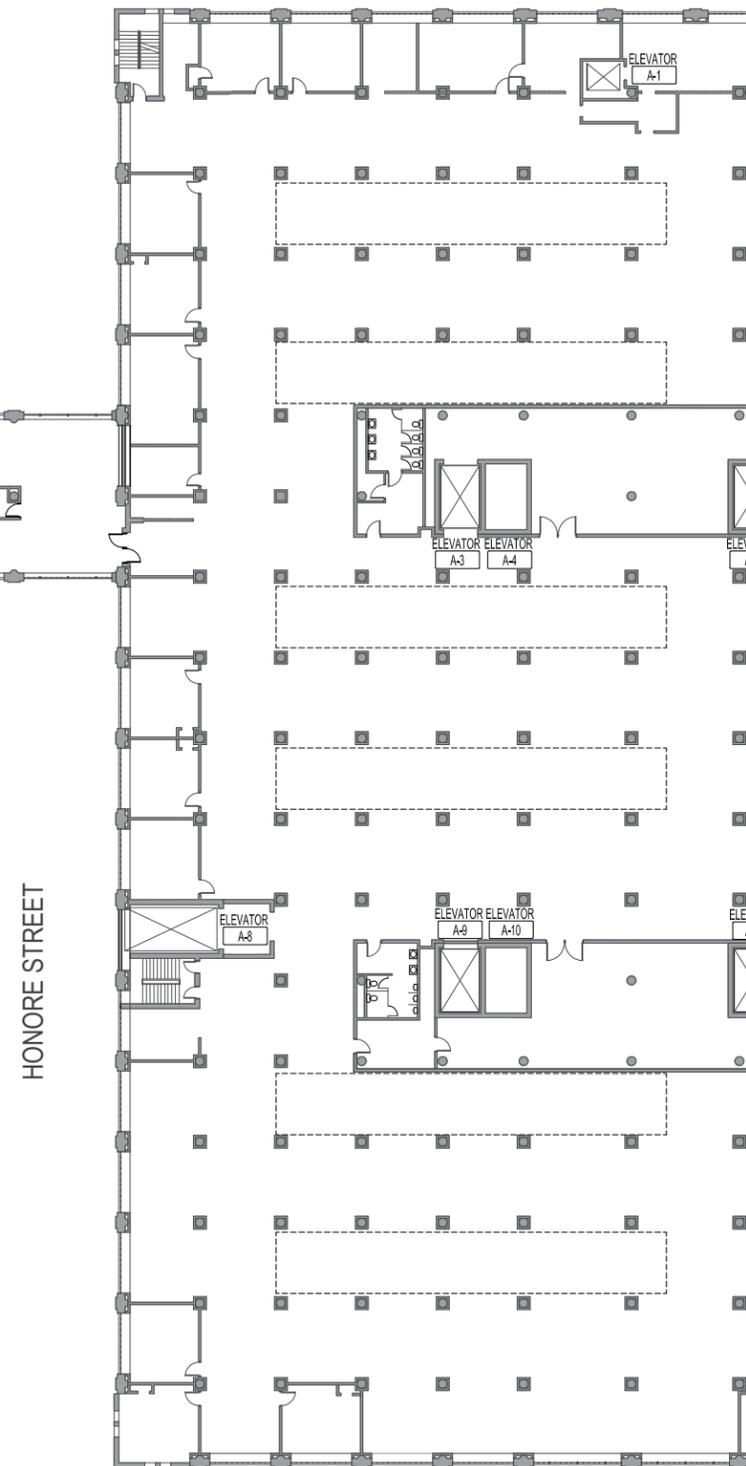
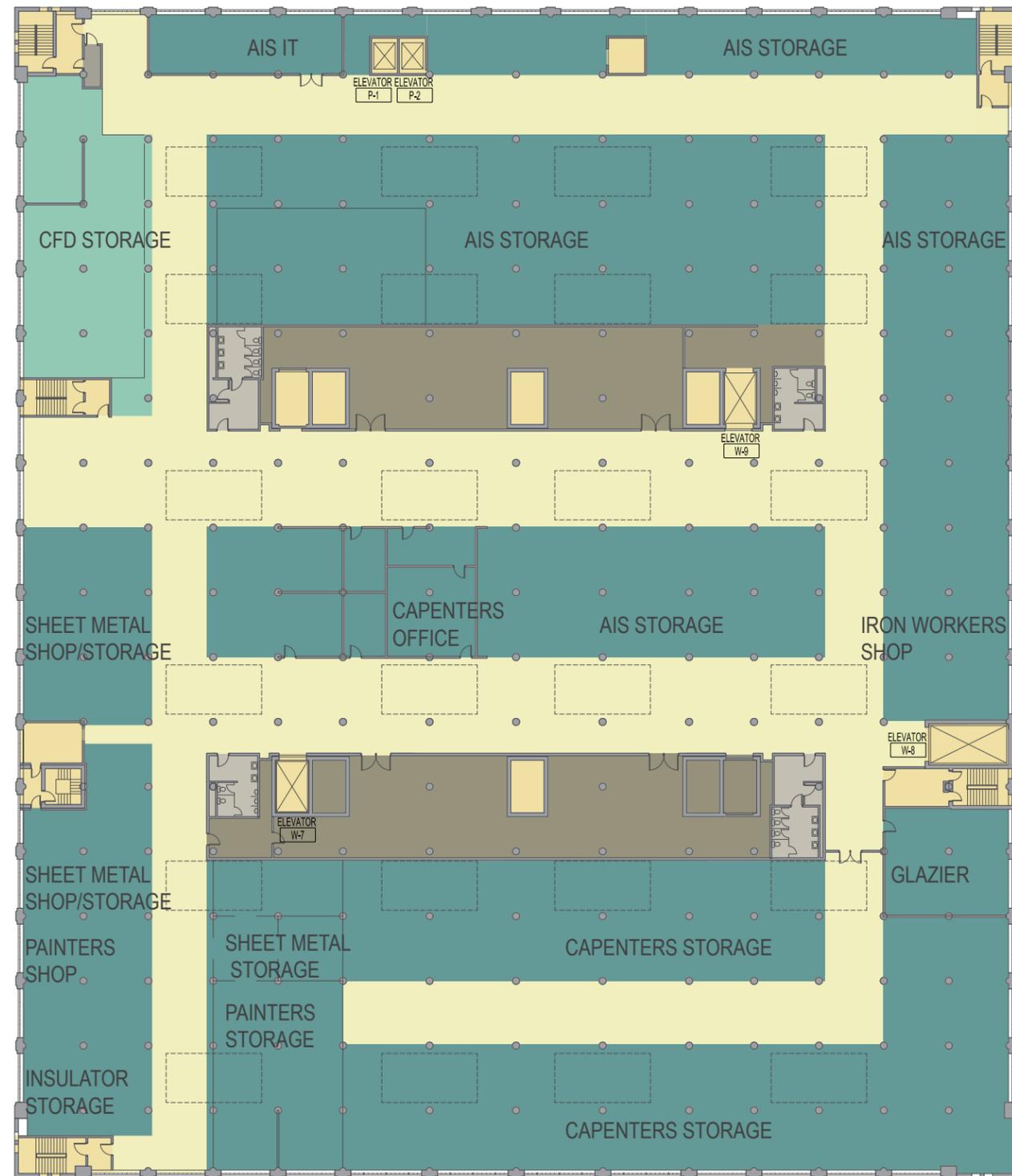
HONORE STREET

Existing Fifth Floor Plan



1869 Existing

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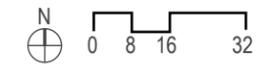


- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

WALCOTT STREET

HONORE STREET

Existing Sixth Floor Plan



1869 Existing

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PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Storage Expansion and Control Center
Department	Chicago Department of Public Health
User Group	
Expansion Function	
Current Area	Each loaded pallet is approximately 4' x 4' x 6'8". There are 1,700 pallets stored in the 56,500 sf. Chicago Department of Public Health (CDPH) storage area on the 4th and 5th floors of 1869. CDPH net floor areas: 25,300 sf. on the fourth floor and 31,200 sf. on the fifth floor.
Expansion Area	<p>There is a need at present for enough space for 3,000 total pallets. Each pallet required 48" X 48" X 80". They need an additional 44,000 sf.</p> <p>Guidelines call for all pallets on one site. All 1,000 to 1,500 pallets to this building.</p> <p>Mortuary room would become new command center. Mortuary supplies are kept here. Mass casualty supplies.</p> <p>CDPH prefers broad open spaces because it is easier to operate.</p>
Future Total Area	100,500 sf.
Additional Furniture and Equipment	Standard 28°C, -20°F, and -80°F freezers and coolers. Relocate some of this refrigeration equipment to new floors
Current Corridor Walls	Metal studs and drywall with coiling overhead doors and staff doors.
Desired Corridor Walls	Pallets are organized into kits. Must be able to fit 80" pallet on motorized pallet jack. Consider clearance for forklifts. This is critical within their space and within corridors.

Desired MEP Upgrades	1 hour fire rated corridors that are wider than normal corridors for 2 way forklift traffic. 4th floor corridors are typical width.
	CDPH needs sophisticated temperature and humidity control in all spaces. The new space requirements are one step down from Pharmacy Grade cGMP (Current Good Manufacturing Practice) Standard. They likely fall into Pharmacy Grade cGSP Current Good Storage Practice.
	Wet sprinklers are required as well as sophisticated control to monitor HVAC unit health and performance. IT/COM on fourth floor for present and future floors. There are substantial power demands for each new floor.
	Ducts need to be snug to ceilings.
	5th floor HVAC and Electrical infrastructure need to be upgraded.
Current Data/Telecom	
Desired Data/Telecom	CDPH needs high speed/fiber optic for all floors and their spaces.
Adjacencies	
Special Considerations	<p>CDPH is getting killed on storage costs on other sites.</p> <p>There is not enough height for stackable storage</p> <p>Critical CDPH needs are more working elevators. Elevator W8 fits 8 Pallets. Elevators W6 – W7 fit 4 pallets. He needs all 3 elevators working. Elevator W7 is tied back to CDPH generator. All of the elevators need emergency generators. Generators should not be in the basement due to flooding.</p> <p>Numbering System was developed by CDPH. Eye bolts and wire system for hanging numbers panels with bar codes.</p> <p>Security is important. CDPH would like Board of Elections to be moved out of floors 2 and 3. BOE ties up freight elevators and loading docks. Their workforce is not bonded and this restricts operation of the building.</p> <p>They also need UV proof exterior glass in expansion suites.</p>

The 2 passenger elevators on Pershing work. Freight elevator W7 ties directly into CDPH. This provides direct access and functions great for their needs.

Freight elevators are obsolete and need to be replaced. Parts must be custom fabricated.

Coiling overhead forklift doors to their spaces must accommodate fork lifts. Plus a staff door at each entrance. Lower floors are better for their expansion needs.

No pharmacy supplies on 5th floor.

Need vapor barrier in exterior walls under build out.

Cooling tower issues impact cooling, poor performance.

Expanding into 6th floor does NOT work due to machinists metal shaving, welding acetone. Light monitors are UV protected and not suited to CDPH functional requirements. They prefer expansion space on the second or third floors.

No. 1 need is the elevators.

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	All Trades – General
Expansion Function	
Current Area	Carpentry, plumbing, machinists, pipefitters on the 5th floor. Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glazier on the sixth floor.
Expansion Area	
Future Total Area	
Additional Furniture and Equipment	<p>Lee Poly wants built-in dust collection equipment for benders. They will need an eye wash station near band saw and drill press. A wall mounted portable eye station is the best choice. They will require fire extinguishers every 50' or less and secure card access if possible.</p> <p>6th floor is mixed use. There needs to be a panic button in each shop. Extend the PA system throughout the floor.</p> <p>Claudine. Provide a larger space if possible, for a universal electrical waste storage area.</p> <p>He would like a sheet metal shop with a handbrake and blank 3 phase 220 machine, as well as a power roller with 230 volts power, and possibly 460 volts power. Provide a few special outlets and more 110 outlets. Size of space is fine.</p> <p>Insulator's storage room. Add a workbench in the inventoried storage room/area.</p>

For pipefitters and sprinkler fitters: a low mop basin is needed for cleaning.

Provide first-aid and mobile eye-wash stations for all shops.

Additional ladder storage is needed for each group or designated area.

Current Corridor Walls

Chain link

Desired Corridor Walls

Drywall partitions with 4' tall plywood wainscot.

Additional duplex outlets are needed in the corridors.

Desired MEP Upgrades

Improved lighting and power for all trades.

Provide a 3 phase, 200 to 225 amp panel with up to 42 circuits in each shop. Each shop needs an exhaust system and dust collection.

6th floor HVAC, plumbing, and lighting needs to be addressed. Fire alarm system was extended to the sixth floor, additional smoke detector and AV devices are needed.

The machinists shop needs better lighting and more outlets for charging, and a dust collection system.

HVAC system needs to be upgraded.

All 5th floor shops need better lighting, more outlets, and 220-volt panels.

5th floor existing compressed gas storage room (10'x20') needs special exhaust and ventilation. Exhaust ductwork cannot be routed through CDPH space.

Jim Brazil. They would like 6th floor toilet rooms. He would like to restore an existing space used for storage back to restroom use.

Current Data/Telecom

Desired Data/Telecom

Each sixth floor shop needs internet and telephone service.

Adjacencies

Special Considerations

Anthony Maiellaro: The PBC will look into elevator service and upgrades.

In the future they will possibly consolidate 5th or 6th floor shops into one space. Jason supports this idea.

On the fifth floor, doors need to be modified or added to provide forklift access.

Will possibly relocate the 5th floor carpentry storeroom to the 6th floor.

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	Electricians
Expansion Function	
Current Area	<p>Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glaizer on the sixth floor.</p> <p>Dan Cusack, Electrical Group. Dan has 6 bays at 18'x18'. Storage area is not changing, he has all the space he needs excluding audio engineering studio.</p> <p>The electrical tool shop is located on the sixth floor of 1869 West Pershing. The 6th floor is used as a tool shop. They also use space on the first floor as a storeroom. Use 1st floor space for storeroom. Electricians use space on the first floor for electrical shop storage. The basement electrical storage area will be used for storing large cables. The 6th floor requires an electrical tool shop with a staging area for tools. This shop is also used for fabrication.</p>
Expansion Area	<p>The building automations system needs a 18'x18' room. They need a 18'x36' room in the basement for cabling enclosed with a chain link partition. They need a 16'x20' room for audio equipment storage on the first floor.</p> <p>There is a need for a 30'x30' audio engineering studio for the sound board and setup.</p> <p>The audio engineering studio needs a bench to set up and test and repair equipment. Possible soundproof this space so that alarm can be tested.</p>

They need a secure, lockable room for tools.

Battery Rooms. A secure room is needed for lithium batteries. Batteries are stored in manufacturers' cases in a rack. PH comment: The battery storage room needs an explosion proof ventilator to exhaust hydrogen to the exterior. A wide temperature range reduces battery life and efficiency. When batteries are being charged, they generate hydrogen gas that is explosive if the levels of hydrogen exceed 4%. Possibly use a monitoring system. The battery storeroom requires an explosion proof ventilator to exhaust hydrogen to the exterior.

Future Total Area

Additional Furniture and Equipment

Space is required for current and future floor tools including: 881 bender, cyclone bender, triple nickel bender, large band saw and drill press. Exact area for this needs to be laid out and calculated. Many of these large, floor mounted tools require 340 volt power.

16' Electrical ladder storage to be in the basement.

They need an eye wash station with sink for emergencies.

Current Corridor Walls

Chain Link

Desired Corridor Walls

Possibly soundproof (Audio Engineering Studio) so that alarm can be tested.

Internal chain link dividers are appropriate.

A metal stud and drywall partition are needed to separate the shop from the corridor. Both forklift and standard doors are required for access.

Desired MEP Upgrades

They need upgraded general lighting and task lighting.

They need outlets for charging lithium-ion batteries. Lithium-ion batteries are charged on a workbench. They need more outlets in general.

Current Data/Telecom

Desired Data/Telecom

Adjacencies

Special Considerations

Heating is required.

The electrical shop needs a large door for forklift access.

The shop also needs special ventilation. Heating and AC are recommended to maintain a limited temperature range for the batteries.

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	Carpenters
Expansion Function	
Current Area	<p>Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glazier on the sixth floor.</p> <p>Elgin Swamigan is the General Foreman of General Trades in the carpentry shop. The carpentry shop stores building materials, including some combustible materials.</p> <p>They currently have a panel saw and cut material on the 6th floor but do not do projects there.</p>
Expansion Area	
Future Total Area	
Additional Furniture and Equipment	<p>They need a first aid station.</p> <p>They also require storage for ladder racks and scaffolding in the carpenter's shop.</p> <p>They request we provide 220-volt power for a future table saw and dust exhaust system.</p> <p>They need a new power operated overhead door to replace the existing one</p>

They also need more 110 and 220 battery powered tools with a charging station in the main room.

Mobile storage unit for flammable glues and adhesives is needed.

Current Corridor Walls

Desired Corridor Walls

Desired MEP Upgrades

They need improved lighting, more electrical outlets, improved ventilation, dust collection system.

They need improved electric power in the 1st floor carpentry shop.

Improved lighting.

Current Data/Telecom

Desired Data/Telecom

Telephone and internet access.

Adjacencies

Special Considerations

The 1st floor carpentry shop needs a new roof and special exhaust ventilation for multiple future dust collectors. Sufficient power is a big issue as well.

Additionally, nothing flammable can be stored in the carpentry shop.

Their most pressing needs are increased electric power, a new roof, and proper ventilation.

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	Painters
Expansion Function	
Current Area	Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glazier on the sixth floor. Painters shop has a slop sink.
Expansion Area	A workable shop area is needed for painting and projects. A paint booth and paint room with exhaust is desired. They need a flammable storage room for oil based paint, acetones, paint thinners as well as storage for aerosols. This is a wish list item. Another option is to put a free-standing flammable storage room w/ heating in the parking lot. This could be a premanufactured item.
Future Total Area	
Additional Furniture and Equipment	They need proper ladder racks and scaffolding storage.
Current Corridor Walls	
Desired Corridor Walls	
Desired MEP Upgrades	They also need improved lighting
Current Data/Telecom	

Desired Data/Telecom

Adjacencies

Special Considerations

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	Iron Workers and Welding Shop
Expansion Function	
Current Area	Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glazier on the sixth floor.
Expansion Area	Existing ironworkers shop to be turned into a welding shop.
Future Total Area	
Additional Furniture and Equipment	The welding shop needs new shelving for storage, a permanently mounted electrical gantry hoist, and more space. They also need plenty of electrical power. A robust stand-alone exhaust system is needed.
Current Corridor Walls	
Desired Corridor Walls	
Desired MEP Upgrades	Ironworkers have substantial electrical requirements so existing electrical service needs to be upgraded.
Current Data/Telecom	
Desired Data/Telecom	
Adjacencies	
Special Considerations	There can be no compressed gas storage in the ironworker's shop.

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Trade Shops
Department	AIS
User Group	Glaziers
Expansion Function	
Current Area	Sheet Metal shop, carpenters office, iron workers shop, painters shop, insulators, sheet metal storage, painters storage, carpenters storage, and glazier on the sixth floor.
Expansion Area	The glazier's shop needs more space and proper lighting.
Future Total Area	
Additional Furniture and Equipment	They need more storage units for storage of flammable materials and a proper dust collection system.
Current Corridor Walls	
Desired Corridor Walls	
Desired MEP Upgrades	They need more 110-volt outlets to recharge batteries for power tools. More 110 and 220-volt outlets for shop tools are needed.
Current Data/Telecom	
Desired Data/Telecom	
Adjacencies	
Special Considerations	

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago
Department of Assets, Information, and Services

1869 West Pershing Road - West

Room or Area	Print Room
Department	
User Group	
Expansion Function	
Current Area	
Expansion Area	
Future Total Area	
Additional Furniture and Equipment	Scanners, 1 computer station for architecture and engineering, space for racks of drawings up to 10 linear feet, 10' standing height table. Keep the drafting tables
Current Corridor Walls	
Desired Corridor Walls	
Desired MEP Upgrades	Records type HVAC system Improve lighting
Current Data/Telecom	
Desired Data/Telecom	Internet access and telephone service
Adjacencies	
Special Considerations	

PROGRAMMING WORKSHEET FOR 5 YEAR PLAN

Public Building Commission of Chicago Department of Assets, Information, and Services

1869 West Pershing Road – West Building
1819 West Pershing Road – Central Building

Room or Area	Central Building – For reference only
Department	Board of Elections
User Group	
Expansion Function	
Current Area	<p>All comments apply to Central Building unless noted otherwise.</p> <p>Election Cycle: Program the election equipment in the West Building 2nd and 3rd floors and Central Building 2nd floor.</p> <p>The original working freight elevator has water damaged, non-working controls. The existing controls are obsolete. The original freight elevator needs to be rebuilt. BOE currently has to pay staff to have the freight elevator operated manually.</p> <p>There is currently no passenger elevator in the Central Building.</p> <p>2nd Floor: E-poll book area is located on the north side near Dean’s office as well as document storage for recent elections. On the south side of the 2nd floor is AIS storage. Finally there is equipment storage in the middle. That space is fine.</p> <p>3rd Floor: There is document retention, carrier storage, carrier repeat, and early vote carrier storage. There is also computer storage and material storage. They need general purpose lighting and additional outlets. The electrical panels need a cover and the emergency lighting doesn’t work.</p> <p>4th floor: The 4th floor contains document retention, a storage room, polling place equipment, nursing home polling equipment. Have materials, equipment, registration storage, archive storage, STE</p>

equipment repairs. They occupy 60,000 sf on the 3rd floor and 90,000 sf on the 4th floor.

Document retention on 2nd and 4th floors would be combined, Votematic and all could probably save one floor.

Need lunch room and break room for 300 people. Approximately 50 at a time. Would include voting machines, table and chairs, microwaves, refrigerators, base and wall cabinets.

They want to bring Agylus Machines which count votes from early voting. These need a dust free and air-conditioned space near Dean's office.

BOE should occupy all six floors of the Central Building. BOE would like to vacate 2 floors of the West Building and consolidate all operations into the central building. They would like to occupy all of the first floor of the central building. All six floors should be board of elections. We plan to move all first floor functions. They need to bring more equipment from Downtown and employees from Downtown.

Currently BOE has a maximum occupancy of 325 people.

Expansion Area

Future Total Area

Additional Furniture and Equipment

Commercial grade pallet shelving racks are needed that is able to stack 2 high with forklifts.

Current Corridor Walls

Desired Corridor Walls

Desired MEP Upgrades

3rd Floor: There is document retention, carrier storage, carrier repeat, and early vote carrier storage. There is also computer storage and material storage. They need general purpose lighting and additional outlets. The electrical panels need a cover and the emergency lighting doesn't work.

Duct work needs to be tight to the deck.

Thermal paper rolls needs temperature controlled environment. They are now stored in the West Building.

Existing central building heating system is a steam pipe system that is all on or all off. Heat modulated by opening the windows. Throughout the winter they open the windows. There would be major savings with heating controls.

Current Data/Telecom

Desired Data/Telecom

Adjacencies

Special Considerations

E-poll book needs to be done in one area for operational and cost savings.

Document Retention and Archive were water damaged on 3rd and 4th floors.

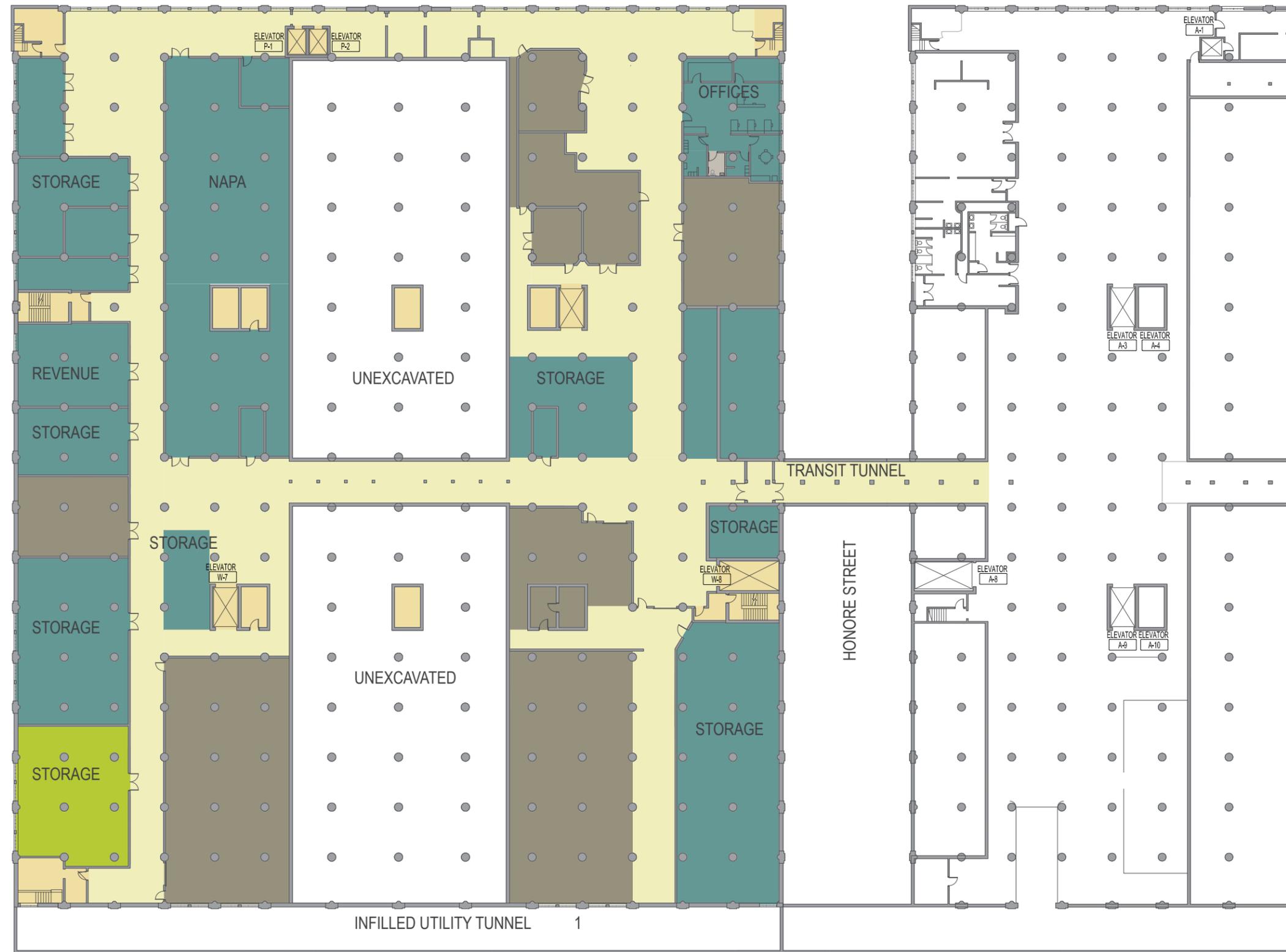
Need a second freight elevator, the other one broke down 6 years ago. It is needed for operational efficiency.

The elevator is currently operating at 39% capacity (7,875 lbs./20,000 lbs.) because of its condition. All of the freight elevators are obsolete. Replacing parts is a substantial expense because parts need to be adapted or custom made.

Handicapped accessibility is addressed using 2 passenger elevators in the West Building. This may violate federal and state ADA requirements. Toilet rooms need to be renovated and brought up to current ADA standards. Small toilet room on ground floor is uni-sex toilet and needs renovation. It needs to be handicapped accessible. Separate male and female toilet rooms are needed. There are large toilet rooms on the 2nd and 4th floors. 3rd floor toilets are abandoned and need to be mothballed. The ground floor toilet room is required for the security person.

All loading docks need repairs. One dock on the south side is completely out of service. The other dock is falling apart. The rear dock is shared with the fire department and another dock is set aside for the Police Department and AIS.

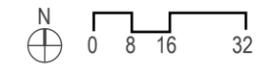
Most of the comments apply to the Central Building and are included for reference only.



- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

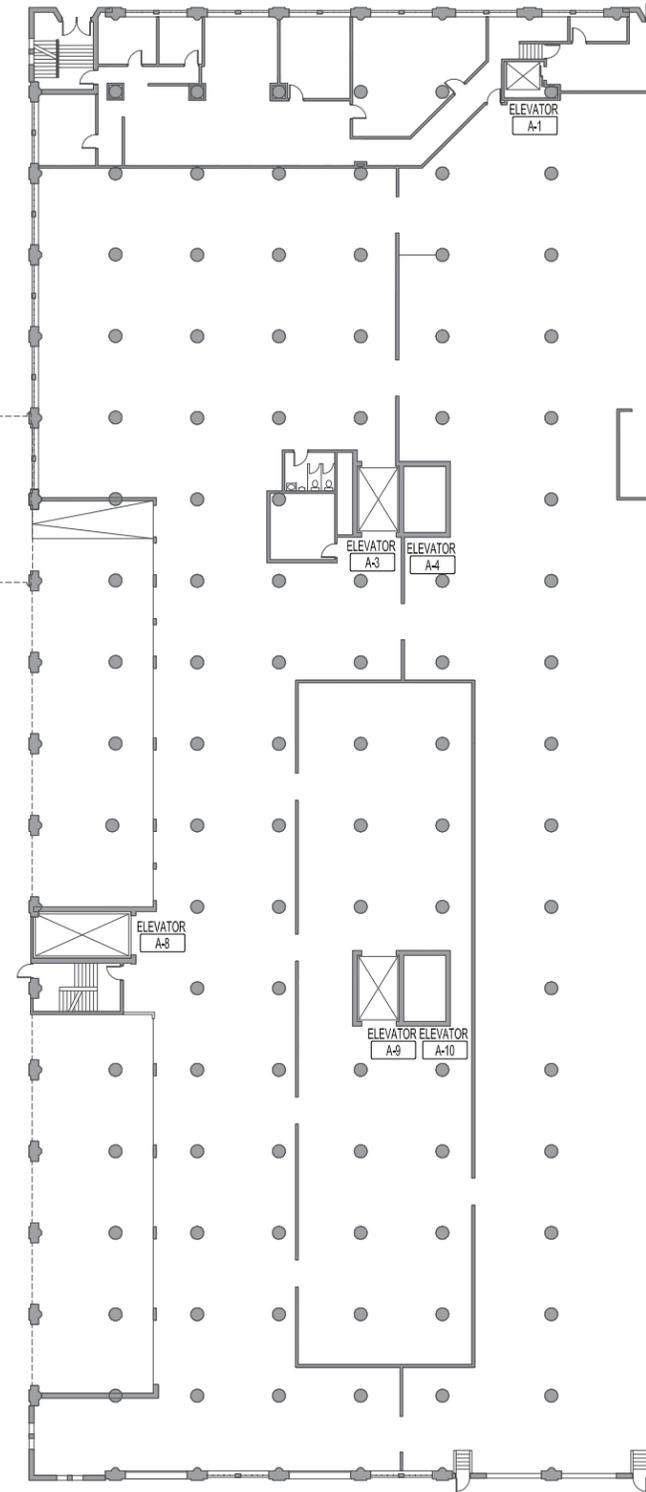
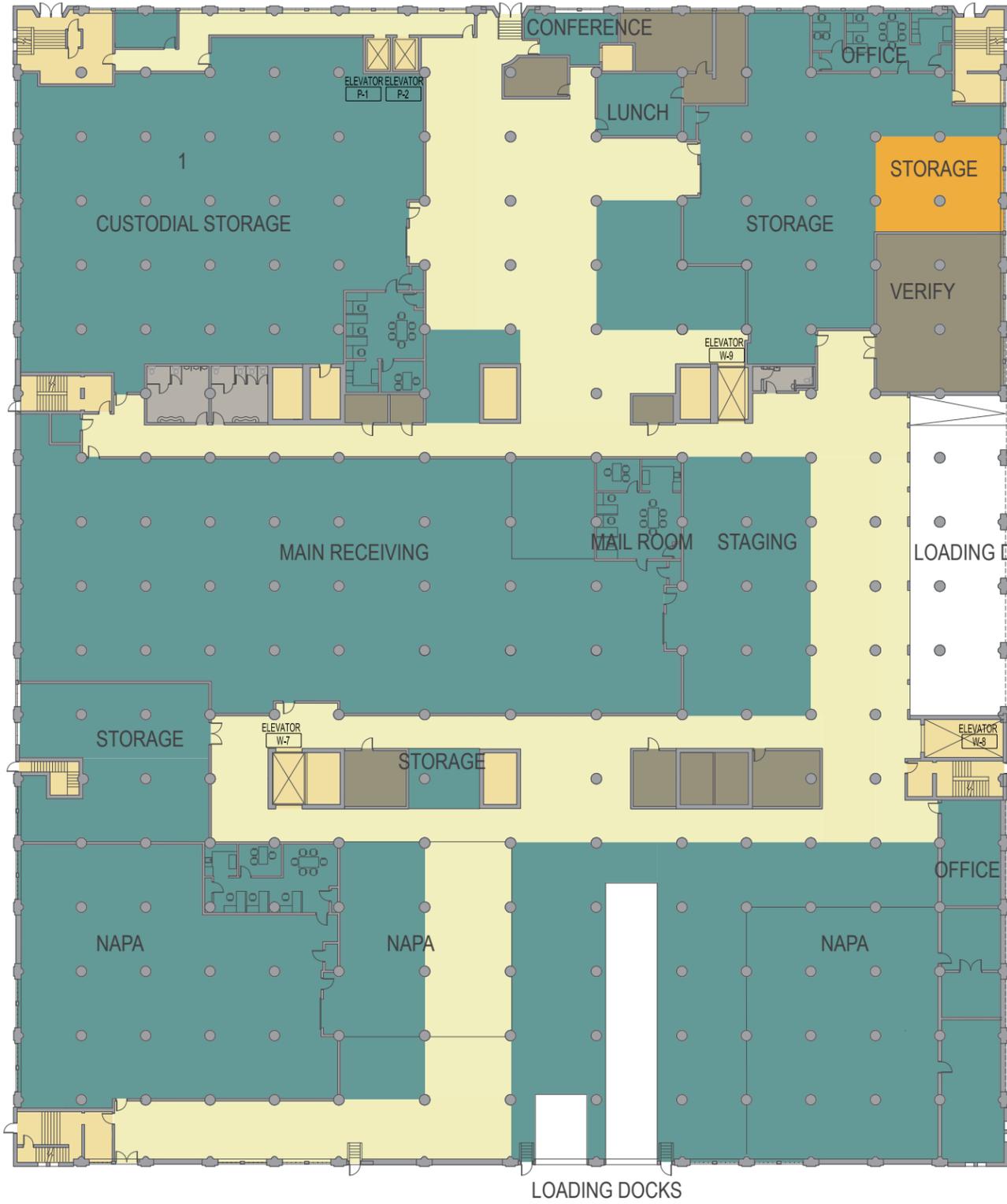
1. Utility tunnel is infilled

Test Fit Basement Floor Plan



1869 Test Fit

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- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

1. When Chicago Fire Department vacates this space, AIS custodial storage will relocate here.

Test Fit Existing First Floor Plan



1869 Test Fit

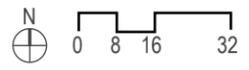
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- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

1. Board of Elections vacates this floor. This creates a floor of unassigned spaces. All corridors are designed for 2 way forklift traffic.
2. Partial AIS storage is relocated to this floor.
3. Circulation network shown is a new optional proposed circulation network for operational efficiency. The existing constrained circulation network could remain.
4. Partial AIS Storage is relocated from the sixth floor.

Test Fit Existing Second Floor Plan



1869 Test Fit

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WALCOTT STREET

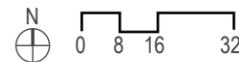
HONORE STREET



- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

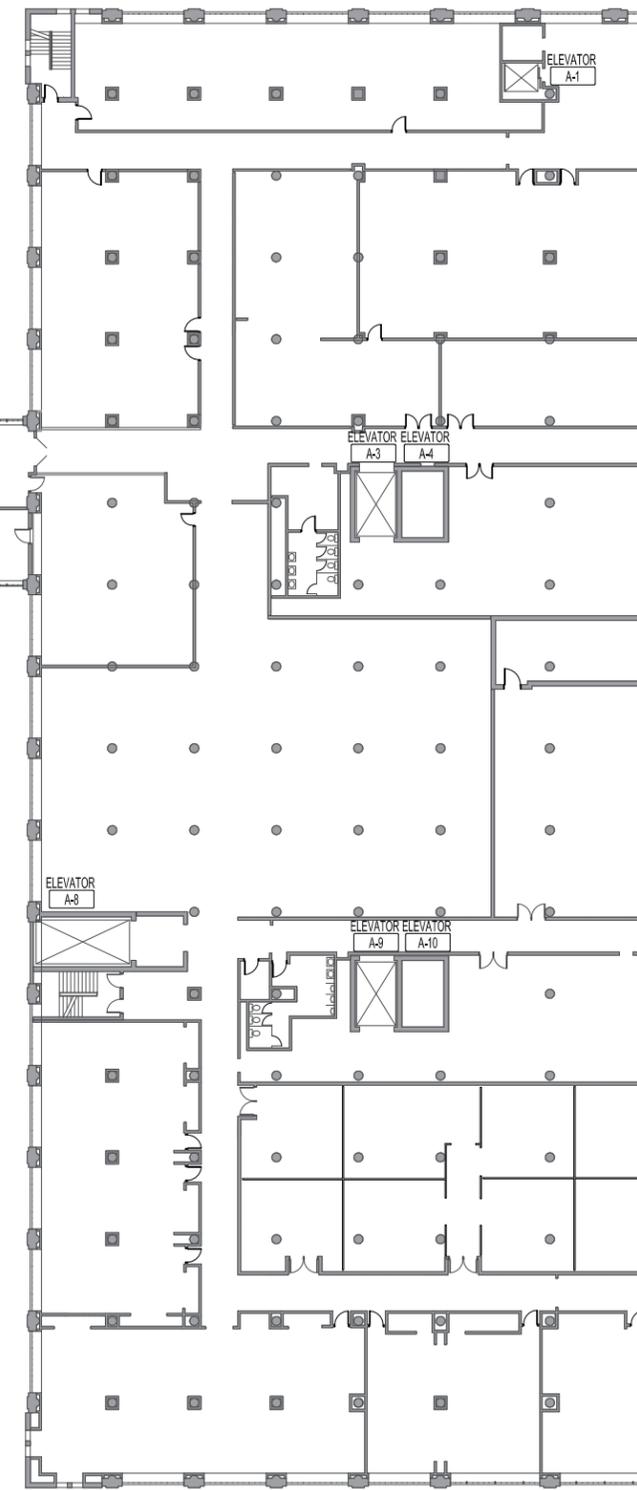
1. Board of Elections vacates this floor. Area is renovated for the technical requirements of the Chicago Department of Public Health. CDPH expands to this floor.

Test Fit Existing Third Floor Plan



1869 Test Fit

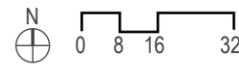
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- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

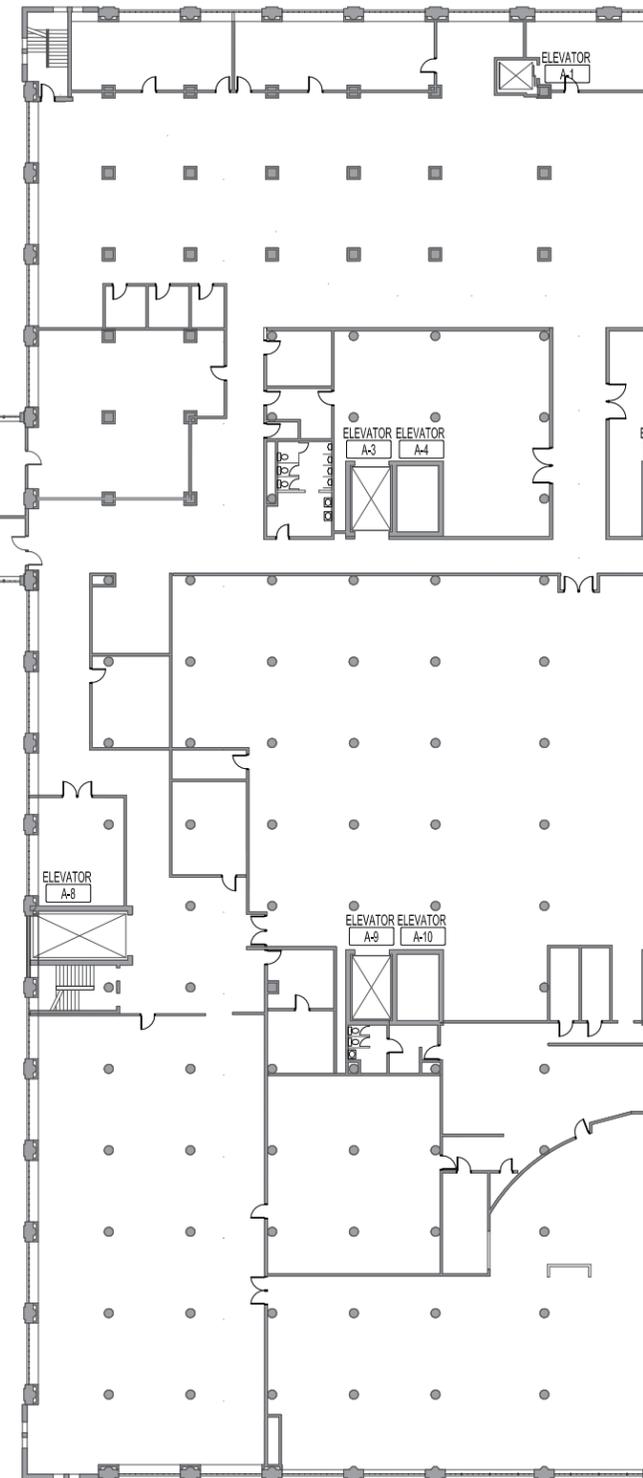
1. No changes on this floor.

Test Fit Existing Fourth Floor Plan



1869 Test Fit

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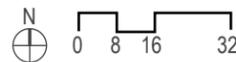
- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

1. Blueprint Room is renovated.
2. Trade Shops are updated to meet current needs.

WALCOTT STREET

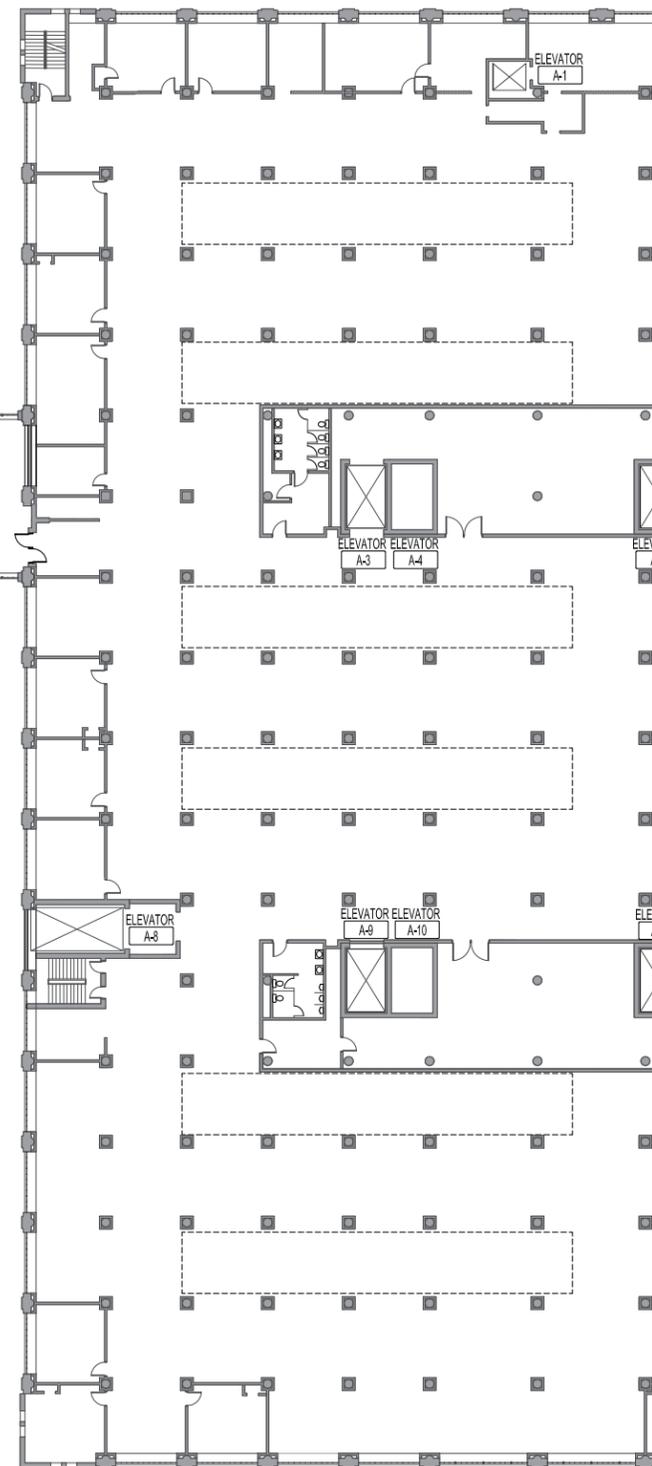
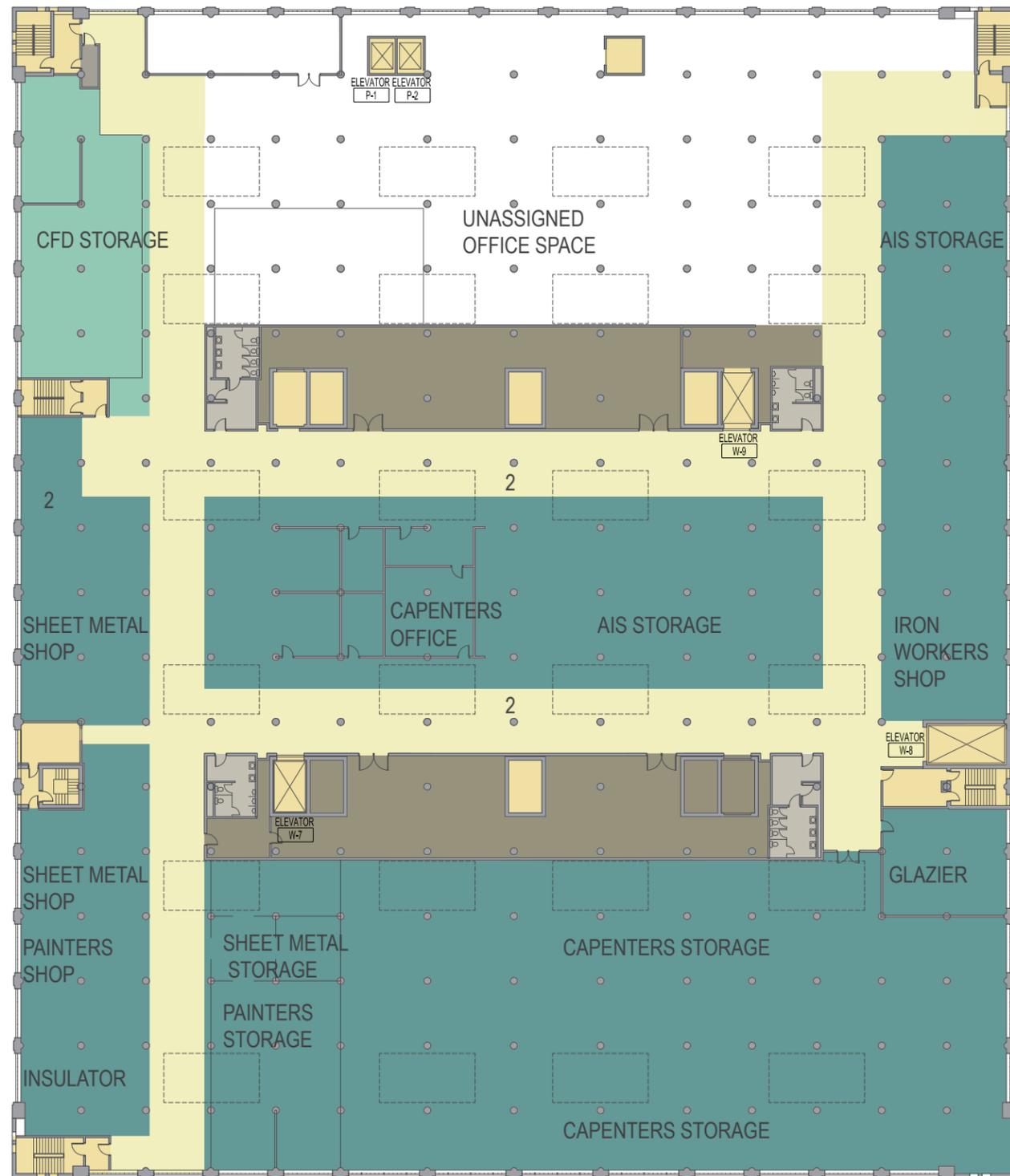
HONORE STREET

Test Fit Existing Fifth Floor Plan



1869 Test Fit

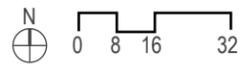
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- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

1. Trade Shops are updated to meet current needs.
2. Excessively wide corridors are reduced to provide wide lanes for 2 way forklift traffic. Space is captured for shop expansion.
3. Some AIS Storage is shifted to the second floor.
4. Space becomes available on the north third of the floor for office space with views of the Chicago skyline and high ceilings.

Test Fit Existing Sixth Floor Plan



1869 Test Fit

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WALCOTT STREET

HONORE STREET

August 16, 2021

MEETING NOTES	CDPH Programming Walkthrough
PROJECT	1869 West Pershing - West Building
PLACE	On Site
MEETING DATE	August 3, 2021
PURPOSE	Chicago Department of Public Health Programming and Walk-Through
PRESENT	Christopher Shields CDPH Michael Powell PBC Paul Harding HMJV Andres Cueva HMJV

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1. All boxes are stored on pallets. Each loaded pallet is approximately 4' x 4' x 6'8". There are 1,700 pallets stored in the 56,500 sf. Chicago Department of Public Health (CDPH) storage area on the 4th and 5th floors of 1869. CDPH net floor areas: 25,300 sf. on the fourth floor and 31,200 sf. on the fifth floor. There is a need at present for enough space for 3,000 total pallets. Each pallet required 48" X 48" X 80". They need an additional 44,000 sf.
 2. Fix the elevators. It is a huge handicap to not have fully operational elevators.
 3. CDPH needs sophisticated temperature and humidity control in all spaces. The new space requirements are one step down from Pharmacy Grade cGMP (Current Good Manufacturing Practice) Standard. They will likely fall into Pharmacy Grade cGSP Current Good Storage Practice. Guidelines call for all pallets on one site. Pull back 1,000 to 1,500 pallets to this building. CDPH is getting killed on storage costs on other sites. There is not enough height for stackable storage.
 4. Critical CDPH needs are more working elevators. Elevator W8 fits 8 Pallets. Elevators W6 – W7 fit 4 pallets. He needs all 3 elevators working. Elevator W7 is tied back to CDPH

generator. All of the elevators need emergency generators. Generators should not be in the basement due to flooding.

5. Security is important. CDPH would like Board of Elections to be moved out of floors 2 and 3. BOE ties up freight elevators and loading docks. Their workforce is not bonded and this restricts operation of the building.
6. CDPH needs high speed/fiber optic for all floors and their spaces. They also need UV proof exterior glass in expansion suites.
7. The 2 passenger elevators on Pershing work. Freight elevator W7 ties directly into CDPH. This provides direct access and functions great for their needs.
8. Chris stated that he believes floors to be 18" thick. PH: This was not the case on other buildings so this should be verified.
9. Pallets are organized into kits. Must be able to fit 80" pallet on motorized pallet jack. Consider clearance for forklifts. This is critical within their space and within corridors.
10. Wet sprinklers are required as well as sophisticated control to monitor HVAC unit health and performance. IT/COM on fourth floor for present and future floors. There are substantial power demands for each new floor. Standard 28°C, -20°F, and -80°F freezers and coolers. Relocate some of this refrigeration equipment to new floors
11. All 3 buildings were Army Quartermaster buildings.
12. Ducts need to be snug to ceilings. Freight elevators are obsolete and need to be replaced. Parts must be custom fabricated. Numbering System was developed by CDPH. Eye bolts and wire system for hanging numbers panels with bar codes.
13. 1 hour fire rated corridors that are wider than normal corridors for 2 forklifts. 4th floor corridors are typical width. Overhead entrance doors to their spaces must accommodate forklifts. Lower floors are better for their expansion needs.
14. No pharmacy supplies on 5th floor. 5th floor HVAC and Electrical infrastructure need to be upgraded. Need vapor barrier in exterior walls under build out. Cooling tower issues impact cooling, poor performance. Forklift drops pallets at door. Beyond that point they use pallet jacks.
15. Mortuary room would become new command center. Mortuary supplies are kept here. Mass casualty supplies.
16. Expanding into 6th floor does NOT work due to machinists metal shaving, welding acetone. Light monitors are UV protected and not suited to CDPH functional requirements. They prefer expansion space on the second or third floors.
17. CDPH prefers broad open spaces because it is easier to operate.

18. No. 1 need is the elevators.

Distribution	<input type="checkbox"/> Those in attendance	
	<input type="checkbox"/> Studio Notebook	HP
	<input type="checkbox"/> File	HP

August 16, 2021

MEETING NOTES	1869 Programming Trade Interviews
PROJECT	1869 West Pershing – West 1819 West Pershing – Central 1769 West Pershing – East
PLACE	Teams Meetins
MEETING DATE	August 9, 2021, 10:00 AM
PURPOSE	Programming
PRESENT	Anthony Maiellaro AIS Jason Robertson AIS Mike Kenny AIS Claudine Parra AIS Arion Williams PBC Paul Harding HMJV James Mo HMJV Mike McAtee HMJV Loraine Leung HMJV

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1. HMJV has been working with the PBC and AIS to assess 1869, 1819, and 1769 West Pershing Road Buildings and develop a 5 year program for the future development for the West and Central Buildings.
 2. Electrical. The electrical tool shop is located on the sixth floor of 1869 West Pershing. The 6th floor is used as a tool shop. They also use space on the first floor as a storeroom. Use 1st floor space for storeroom. Electricians use space on the first floor for electrical shop storage. The basement electrical storage area will be used for storing large cables. The 6th floor requires an electrical tool shop with a staging area for tools. This shop is also used for fabrication. They need a secure, lockable area for tools. They need upgraded general lighting and task lighting, internal chain link dividers are appropriate. They need an eye wash station with sink for emergencies. Heating is required. They need outlets for charging lithium-ion batteries. Lithium-ion batteries are charged on a workbench. They need more outlets in general. Space is required for current and future floor tools including: 881 bender, cyclone bender, triple nickel bender, large band saw and drill press. Exact area for this needs to be laid out and

calculated. Many of these large, floor mounted tools require 340 volt power. The electrical shop needs a large door for forklift access. This should be drywall partitions with coiling overhead. The partition at the corridors is currently a chain link divider. A metal stud and drywall partition are needed to separate the shop from the corridor. Both forklift and standard doors are required for access. The shop also needs special ventilation. Heating and AC are recommended to maintain a limited temperature range for the batteries. A secure room is needed for lithium batteries. Batteries are stored in manufacturers' cases in a rack. PH comment: The battery storage room needs an explosion proof ventilator to exhaust hydrogen to the exterior. A wide temperature range reduces battery life and efficiency. When batteries are being charged, they generate hydrogen gas that is explosive if the levels of hydrogen exceed 4%. Possibly use a monitoring system. The battery storeroom requires an explosion proof ventilator to exhaust hydrogen to the exterior.

3. Roberto Iniguez They store large cables and electrical items in the basement. Enclose with cyclone fencing. Provide forklift access. There will be 3 rooms total including a new room.
4. Lee Poly wants built-in dust collection equipment for benders. They will need an eye wash station near band saw and drill press. A wall mounted portable eye station is the best choice. They will require fire extinguishers every 50' or less and secure card access if possible. Internet access is needed. Each sixth floor shop needs internet and telephone service.
5. General. 6th floor is mixed use. There needs to be a panic button in each shop. Extend the PA system throughout the floor.
6. Dan Cusack, Electrical Group. Dan has 6 spaces at 20'x20'. The building automations system needs a 20'x20' room. They need a 20'x40' room in the basement for cabling enclosed with a chain link partition. They need a 16'x20' room for audio equipment storage on the first floor. There is a need for a 30'x30' audio engineering studio for the sound board and setup. The room needs a bench to set up and test and repair equipment. Possibly soundproof this space so that the alarm can be tested. Overall storage area is not changing. He has all the space he needs, excluding audio engineering studio.
7. Claudine. Provide a larger space if possible, for a universal electrical waste storage area.
8. Jim Brazil. They would like 6th floor toilet rooms. He would like to restore an existing space used for storage back to restroom use. They need more lighting and power. He would like a sheet metal shop with a handbrake and blank 3 phase 220 machine, as well as a power roller with 230 volts power, and possibly 460 volts power. Provide a few special outlets and more 110 outlets. Size of space is fine.
9. Provide a 3 phase, 200 to 225 amp panel with up to 42 circuits in each shop. Each shop needs an exhaust system and dust collection.

10. Painter's Shop. They have a slop sink. They need improved lighting. A workable shop area is needed for painting and projects. A paint booth with exhaust is desired. They also need proper ladder racks and scaffolding storage.
11. They need a flammable storage room for oil based paint, acetones, paint thinners as well as storage for aerosols. This is a wish list item. Another option is to put a free-standing flammable storage room w/ heating in the parking lot. This could be a premanufactured item.
12. Painters shop has a slop sink. They need improved lighting and additional areas such as workable shop area including a paint booth and paint room. They need a rack system in general storage area for painter's ladders and scaffolding storage.
13. Insulator's storage room. Add a workbench in the inventoried storage room/area.
14. Turn existing ironworkers shop into a welding shop. Ironworkers have substantial electrical requirements so existing electrical service needs to be upgraded. The welding shop needs new shelving for storage, a permanently mounted electrical gantry hoist, and more space. They also need plenty of electrical power. A robust stand-alone exhaust system is needed. There can be no compressed gas storage in the ironworker's shop.
15. Elgin Swamigan is the General Foreman of General Trades in the carpentry shop. The carpentry shop stores building materials, including some combustible materials. They need improved lighting, more electrical outlets, improved ventilation, dust collection system, a first aid station, and telephone and internet access. They also require storage for ladder racks and scaffolding in the carpenter's shop. They request we provide 220-volt power for a future table saw and dust exhaust system. In the future they will possibly consolidate 5th or 6th floor shops into one space. Jason supports this idea. They currently have a panel saw and cut material on the 6th floor but do not do projects there. They need improved electric power in the 1st floor carpentry shop.
16. The 1st floor carpentry shop needs a new roof and special exhaust ventilation for multiple future dust collectors. Sufficient power is a big issue as well. They need a new power operated overhead door to replace the existing one as well as improved lighting. They also need more 110 and 220 battery powered tools with a charging station in the main room. Additionally, nothing flammable can be stored in the carpentry shop. Mobile storage unit for flammable glues and adhesives is needed. Their most pressing needs are increased electric power, a new roof, and proper ventilation.
17. The glazier's shop needs more space and proper lighting. They need more 110-volt outlets to recharge batteries for power tools. More 110 and 220-volt outlets for shop tools are needed. They need more storage units for storage of flammable materials and a proper dust collection system.
18. Anthony Maiellaro: The PBC will look into elevator service and upgrades.

19. We covered 6th floor shops.
20. 6th floor HVAC and plumbing needs to be addressed. Fire alarm system was extended to the sixth floor, additional smoke detector and AV devices are needed.
21. 6th floor needs improved lighting and drywall partitions with 4' tall plywood wainscot. Additional duplex outlets are needed in the corridors.
22. On the fifth floor, doors need to be modified or added to provide forklift access.
23. Carpentry, plumbing, machinists, pipefitters etc. on the 5th floor. Will possible relocate the 5th floor carpentry storeroom to the 6th floor. The machinists shop needs better lighting and more outlets for charging, and a dust collection system. HVAC system needs to be upgraded. For pipefitters and sprinkler fitters: a low mop basin is needed for cleaning. Provide first aid and eye wash stations for all shops. Provide first-aid and mobile eye-wash stations for all shops. All 5th floor shops need better lighting, more outlets, and 220-volt panels.
24. Additional ladder storage is needed for each group or designated area. 16' electrical ladder storage is needed in the basement.
25. All ladders for the electricians should be stored on sixth floor.
26. The 5th floor print room needs a records-type HVAC system. Also needed are scanners, a computer station for architecture and engineering, space for racks of drawings up to 100 linear feet, a 10' long standing height table. Keep the drafting tables, improve lighting, and add one computer workstation.
27. 5th floor existing compressed gas storage room (10'x20') needs special exhaust and ventilation. Exhaust ductwork cannot be routed through CDPH space.
28. Jason needs an additional session.

- | | | |
|--------------|--|----|
| Distribution | <input type="checkbox"/> Those in attendance | |
| | <input type="checkbox"/> Studio Notebook | HP |
| | <input type="checkbox"/> File | HP |

June 28, 2021

MEETING NOTES	AIS Programming	
PROJECT	1769 West Pershing – East 1819 West Pershing – Middle 1869 West Pershing - West	
PLACE	On Site	
MEETING DATE	June 28, 2021	
PURPOSE	Programming	
PRESENT	Paul Harding	HMJV
	Jason Robertson	AIS

1. Intro: Jason Robertson is the Manager of Building Services in charge of this location
2. 1st Floor: 1 of 2 custodial storerooms is located on the 1st floor. 1 is also located on the 3rd floor temporarily. CFD storage is located on the northwest corner of the first floor. When they relocate, 3rd floor custodial storeroom will move here. They run custodial supplies for 425+ buildings, every city building this department provides supplies to custodial contractor. CFD storage on 1st floor. They have a total of 600 pallets. This will not fit on the first floor. Whatever doesn't fit here goes to the 6th floor. 48"x48", 36"x48", 36"x36" pallet sizes. They have motion sensors to control lights on Basement up through 5th floor. At the CFD loading dock with the overhead door, the dock itself is too high for unloading straight trucks and tractor trailers. This needs to be addressed by raising the grade elevation. The current space is air-conditioned.
3. Floor 1-4 are air-conditioned while 5 and 6 are not. The 6th floor has no perimeter heat while HVAC and lighting is fine. The existing lights are zoned and there is emergency lighting.
4. 6th Floor North End: This space is unconditioned and perimeter heat doesn't work. The block wall in the North third will be built out for CDPH. They wish to provide access to passenger elevators for the entire floor and to make this area another storage location. It would be used to store Medical supplies and also conditioned and cleaned. Environmental reports were done 2 years ago. See Claudine Parra about this. The alarm and sprinkler were installed in

2019. There is also a wet sprinkler system. The area is hot in the winter time and never gets cold. The Fire Department storage area in 6th floor east is also moving out.

5. 6th Floor. The Middle Third/Center Section will be built out for secured locked storage. This is part of the 5 year plan. The center CMU core will be trimmed back to meet Jason's needs. Take out 2 open ended block walls and make 2 rooms, 2 offices for trades staff. Additionally fence off the center section East of CMU core. Former mechanical rooms in what HP called the core, incorrectly. Ferris will rehab elevator. Scheduled to be repaired W9. East Center Storage along wall becomes iron workers shop. There are special power and ventilation requirements for this. Welders exhaust must go straight outside with exhaust hoods. There must be a roll-up door high enough for a fork lift and a corridor wide enough for 2 way fork lift traffic. 13'-0" minimum. Verify that the existing roll-up doors are 8' high.
6. Existing Glazers shop and storeroom will have specific needs and improvements but will likely stay where they are on the East side of the 6th floor. Existing Carpenter's Shop needs dust collection equipment and drywall separation between the entrance and corridor. On the South end the existing layout will stay the same. Will also add internal dust collection. Existing Sheet Metal shop and storeroom equipment improvements are needed including 2 roll-up doors plus 1 or 2 main doors. This space will be bisected by access to the fire stair and will be 5 bays long by 2 bays deep on the West Center side. Painters shop on the 6th floor South end is 3 bays long by 2 bays deep. There is also a insulator shop on the 6th floor Southwest corner that is 1½ bays long by 2 bays deep. In the center next to former HVAC additional Sheet Metal Storeroom to remain as is. To be built out with walls. Existing Painters storeroom to be labeled Paint Shop. Existing Sheet Metal Storeroom. South former mechanical rooms used for storage
7. 5th Floor unconditioned area has motion detectors for lights. Jason is off the 6th through the 15th. Meet with Jason on Thursday July 15th after 10 am.
8. Additional build-out comments by Jason. Same unit heaters. 4' high plywood ¾" wainscot painted is ideal finish system. The entire 5th floor should be heated and air-conditioned. Blueprint storage. Archive storage HVAC. What type of equipment for storage? 2 bays deep by 3 bays wide, shelving will change. Existing walls to remain.
9. 4th floor medical grade conditioned space stays the same. 3rd and 2nd floor BOE storage also stays the same.
10. Jason Roberts mobile number: 312.656.1457.

- Distribution
- Those in attendance
 - Studio Notebook HP
 - File HP

August 16, 2021

MEETING NOTES	1819 Board of Elections Programming	
PROJECT	1769 West Pershing – East 1819 West Pershing – Middle 1869 West Pershing - West	
PLACE	On Site	
MEETING DATE	July 22, 2021	
PURPOSE	Programming	
PRESENT	Dean Ftikas Paul Harding	BOE HMJV

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1. Election Cycle: Program the election equipment in the West Building 2nd and 3rd floors and Central Building 2nd floor. E-poll book needs to be done in one area for operational and cost savings.
 2. Document Retention and Archive were water damaged on 3rd and 4th floors.
 3. Need a second freight elevator, the other one broke down 6 years ago. It is needed for operational efficiency.
 4. If the 103-year-old freight elevator breaks down the whole operation is dead. Multiple trucks for hire wait until the elevator is repaired. 2 elections ago operations were stopped for 8 hours. A typical semi-truck load contains 22-24 carriers. Straight trucks pick up 12 carriers in each load. A total of 2069 carriers have to go out plus equipment. 2nd elevator would make delivery process more efficient, saving operational costs and triggering election day failure. It takes 1½ - 2 months before and after the election. The total cycle is approximately 5 months.
 5. The original working freight elevator has water damaged, non-working controls. The existing controls are obsolete. The original freight elevator needs to be rebuilt. BOE currently has to

pay staff to have the freight elevator operated manually. These staff are paid \$71,000/year, \$65,000, \$58,000 plus benefits and are tasked with supporting the freight elevator. Therefore, the cost to the city is substantial. The elevator runs 7 days a week during an election cycle. The city would save substantial dollars with a 10-ton, 20,000 lb. capacity elevator. They currently put 9 carriers on it or 7,875 lbs. so that they don't overload. The elevator is currently operating at 39% capacity (7,875 lbs./20,000 lbs.) because of its condition. All of the freight elevators are obsolete. Replacing parts is a substantial expense because parts need to be adapted or custom made.

There is currently no passenger elevator. Staff must walk up the stairs. Handicapped accessibility is addressed using 2 passenger elevators in the West Building. This may violate federal and state ADA requirements. Toilet rooms need to be renovated and brought up to current ADA standards. Small toilet room on ground floor is uni-sex toilet and needs renovation. It needs to be handicapped accessible. Separate male and female toilet rooms are needed. There are large toilet rooms on the 2nd and 4th floors. 3rd floor toilets are abandoned and need to be mothballed. The ground floor toilet room is required for the security person. During an election, staff occupies 3 floors: 2nd, 3rd, and 4th. Year round staff is approximately 26, and 150 temporary staff are added for the election cycle.

6. All loading docks need repairs. One dock on the south side is completely out of service. The other dock is falling apart. The rear dock is shared with the fire department and another dock is set aside for the Police Department and AIS.
7. 2nd Floor: E-poll book area is located on the north side near Dean's office as well as document storage for recent elections. On the south side of the 2nd floor is AIS storage. Finally there is equipment storage in the middle. That space is fine.
8. 3rd Floor: There is document retention, carrier storage, carrier repeat, and early vote carrier storage. There is also computer storage and material storage. They need general purpose lighting and additional outlets. The electrical panels need a cover and the emergency lighting doesn't work. 3rd floor area includes storage skids, equipment carts, equipment packs, and election supply carriers (big blue box). Finished carts go back and forth between Center Building and West Building. For operating efficiency BOE uses 2069 carriers on election day. They occupy 2 floors in the West Building. On election day and early voting days they have around 300 people, they stay on the dock. They should be on the 2nd floor of the West Building. Set up with table and chairs. There is double parking on the street for election day. Second floor office area needs access to 2nd and 3rd floor toilet rooms. In the West Building they occupy 2nd and 3rd floors.
9. 4th floor: The 4th floor contains document retention, a storage room, polling place equipment, nursing home polling equipment. Have materials, equipment, registration storage, archive storage, STE equipment repairs. They occupy 60,000 sf on the 3rd floor and 90,000 sf on the

4th floor. Duct work needs to be tight to the deck. Commercial grade pallet shelving is needed that is able to stack 2 high with forklifts. Document retention on 2nd and 4th floors would be combined, Votematic and all could probably save one floor.

Need lunch room and break room for 300 people. Approximately 50 at a time. Would include voting machines, table and chairs, microwaves, refrigerators, base and wall cabinets.

Thermal paper rolls needs temperature controlled environment. They are now stored in the West Building. They want to bring Agylus Machines which count votes from early voting. These need a dust free and air-conditioned space near Dean's office.

10. BOE should occupy all six floors of the Central Building. BOE would like to vacate 2 floors of the West Building and consolidate all operations into the central building. They would like to occupy all of the first floor of the central building. All six floors should be board of elections. We plan to move all first floor functions. They need to bring more equipment from Downtown and employees from Downtown.

11. Currently BOE has a maximum occupancy of 325 people.

12. There would be major savings with heating controls. Dean Ftikas mobile number 773.852.1489

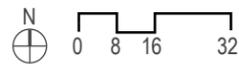
13. Existing central building heating system is a steam pipe system that is all on or all off. Heat modulated by opening the windows. Throughout the winter they open the windows.

Distribution	<input type="checkbox"/> Those in attendance	
	<input type="checkbox"/> Studio Notebook	HP
	<input type="checkbox"/> File	HP



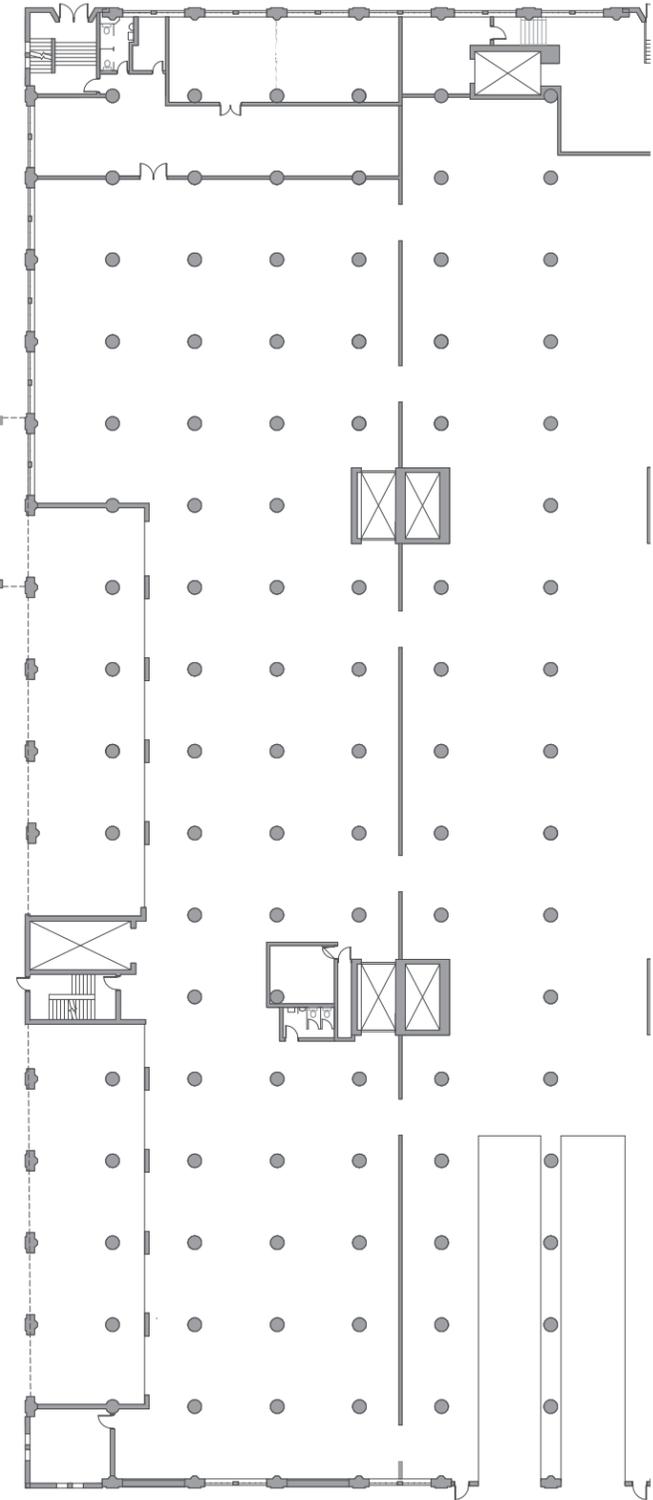
- Board of Elections
- AIS
- Department of Public Health
- Fire Department
- Police Department
- Circulation
- Stairs and Elevators
- Mechanical
- Restrooms
- Other

Existing Basement Floor Plan



1819 Test Fit

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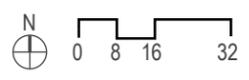


- Board of Elections
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HONORE STREET

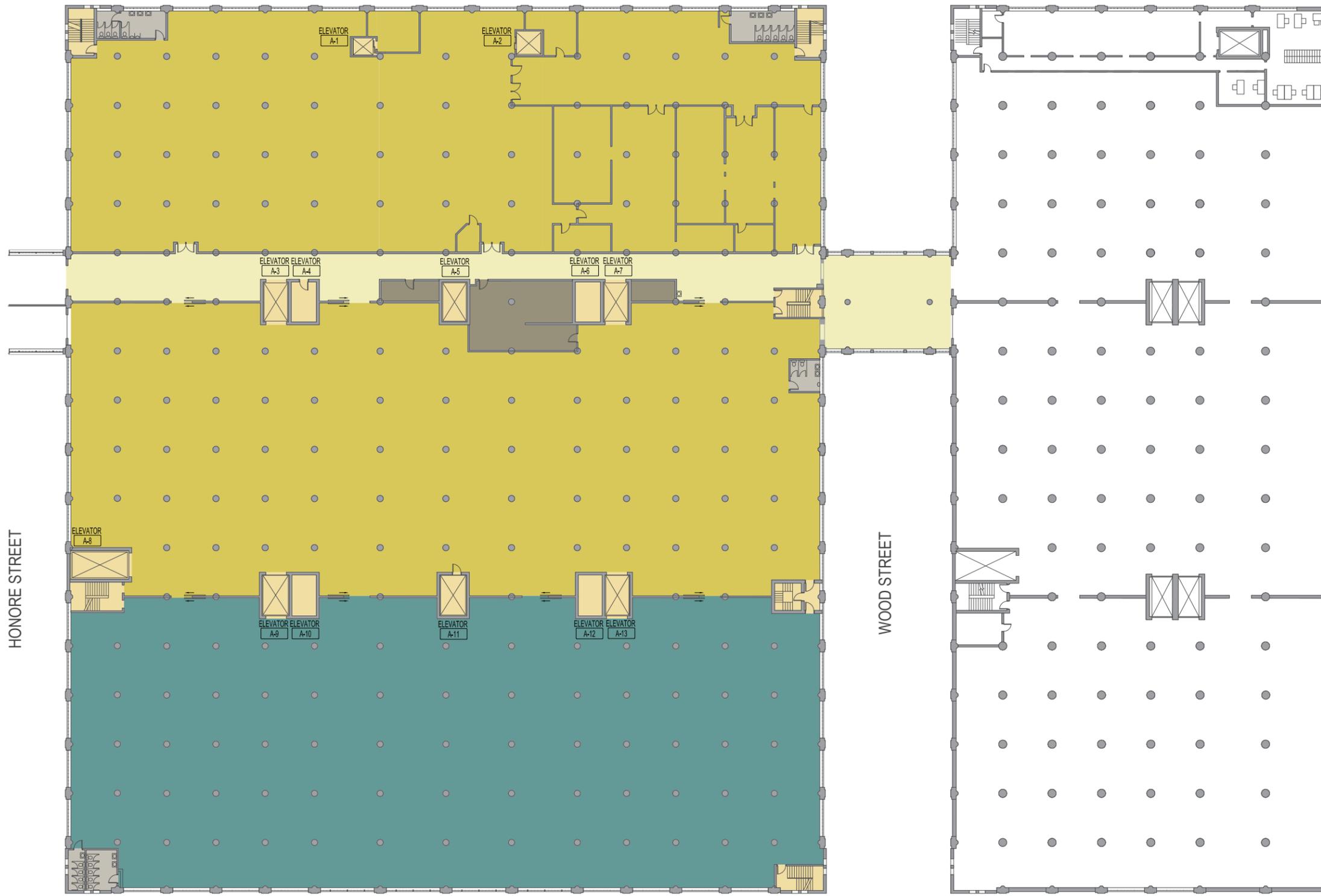
WOOD STREET

Existing First Floor Plan



1819 Test Fit

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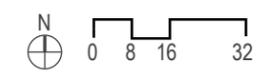


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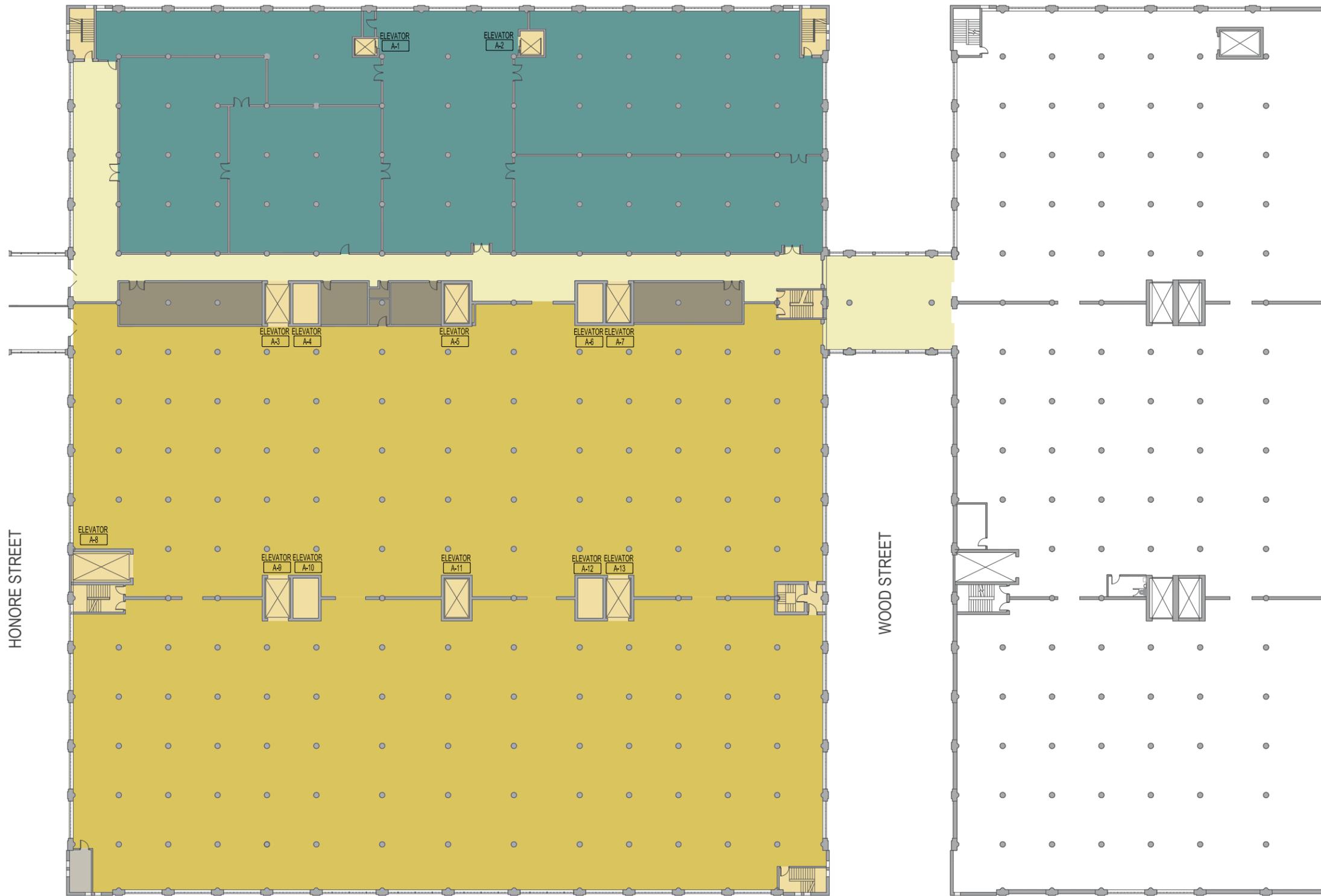
WOOD STREET

Existing Second Floor Plan



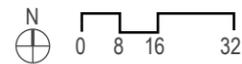
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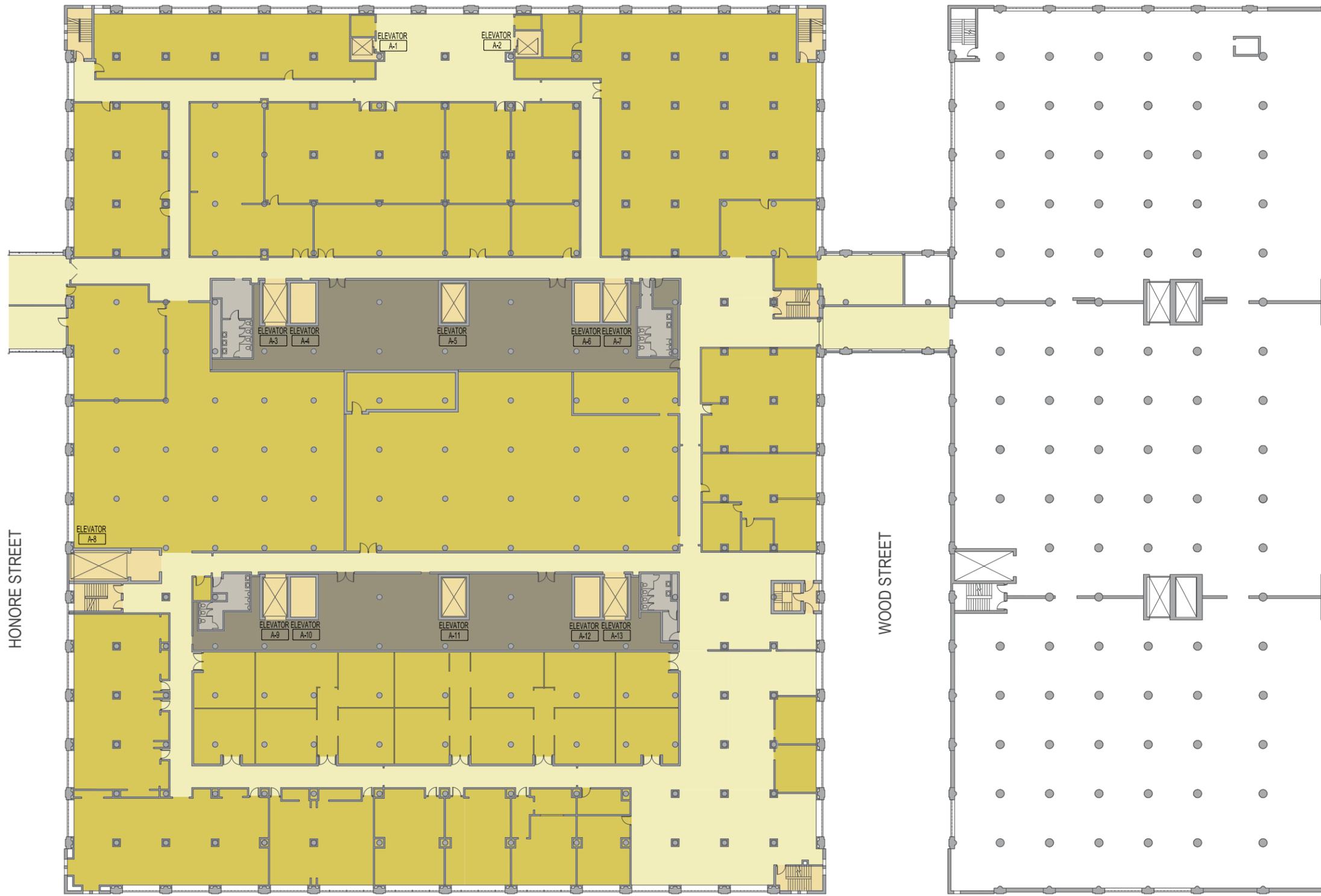


- Board of Elections
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Existing Third Floor Plan

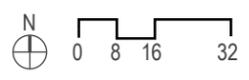


1819 Test Fit



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Existing Fourth Floor Plan



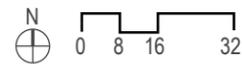
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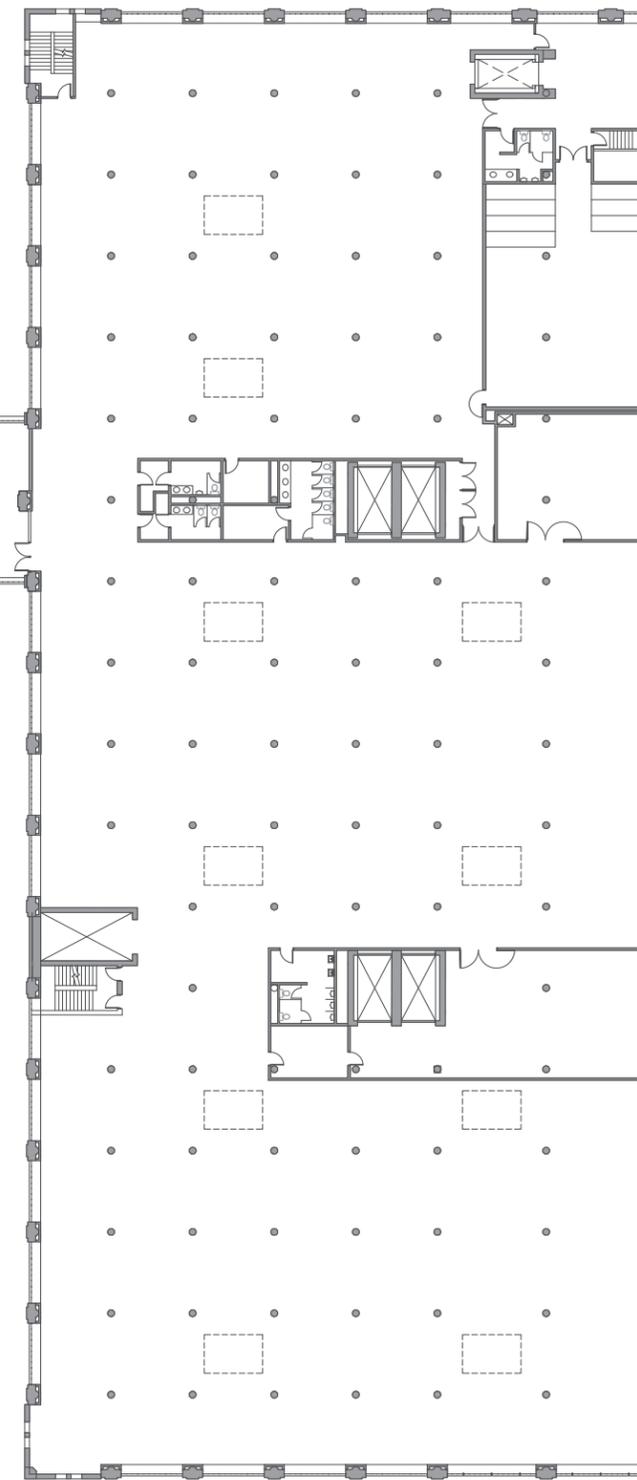
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Existing Fifth Floor Plan



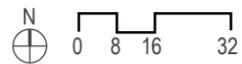
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Existing Sixth Floor Plan



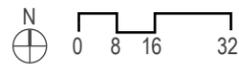
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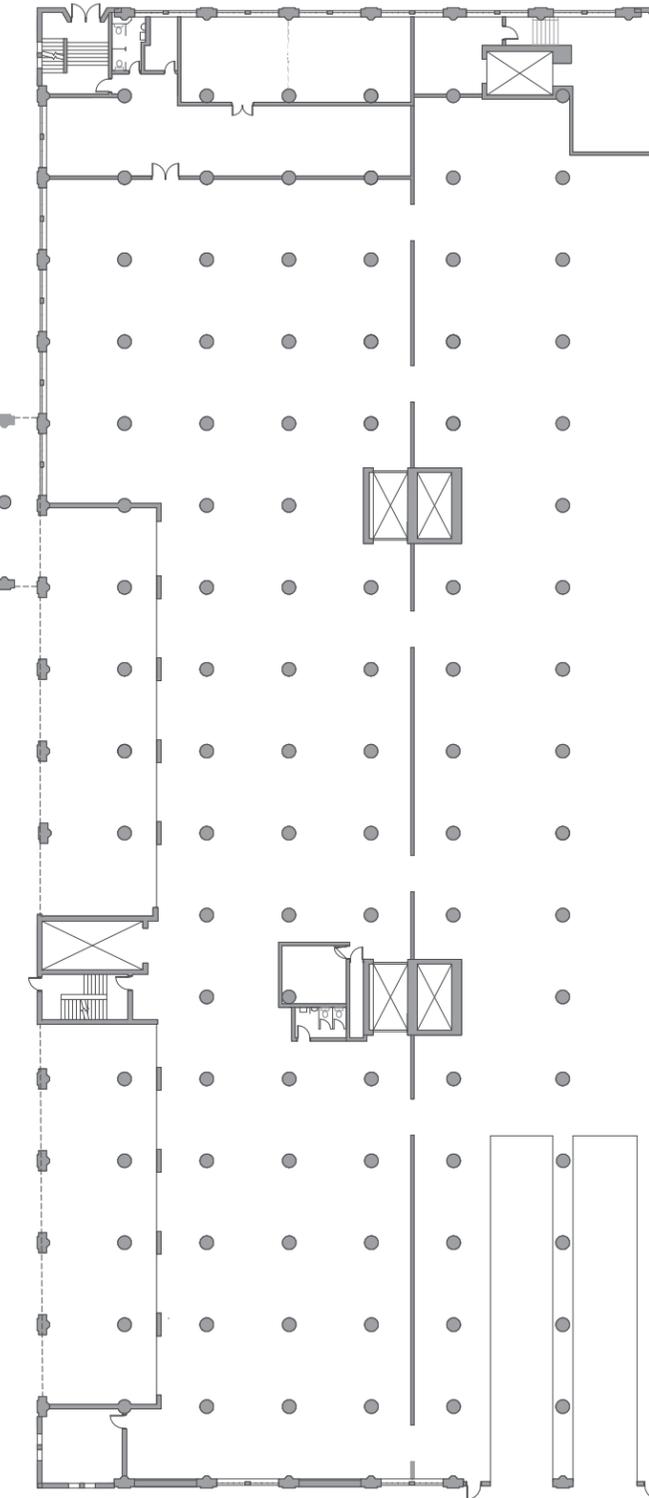
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Existing Basement Floor Plan



1819 Existing

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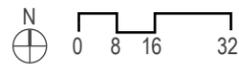


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HONORE STREET

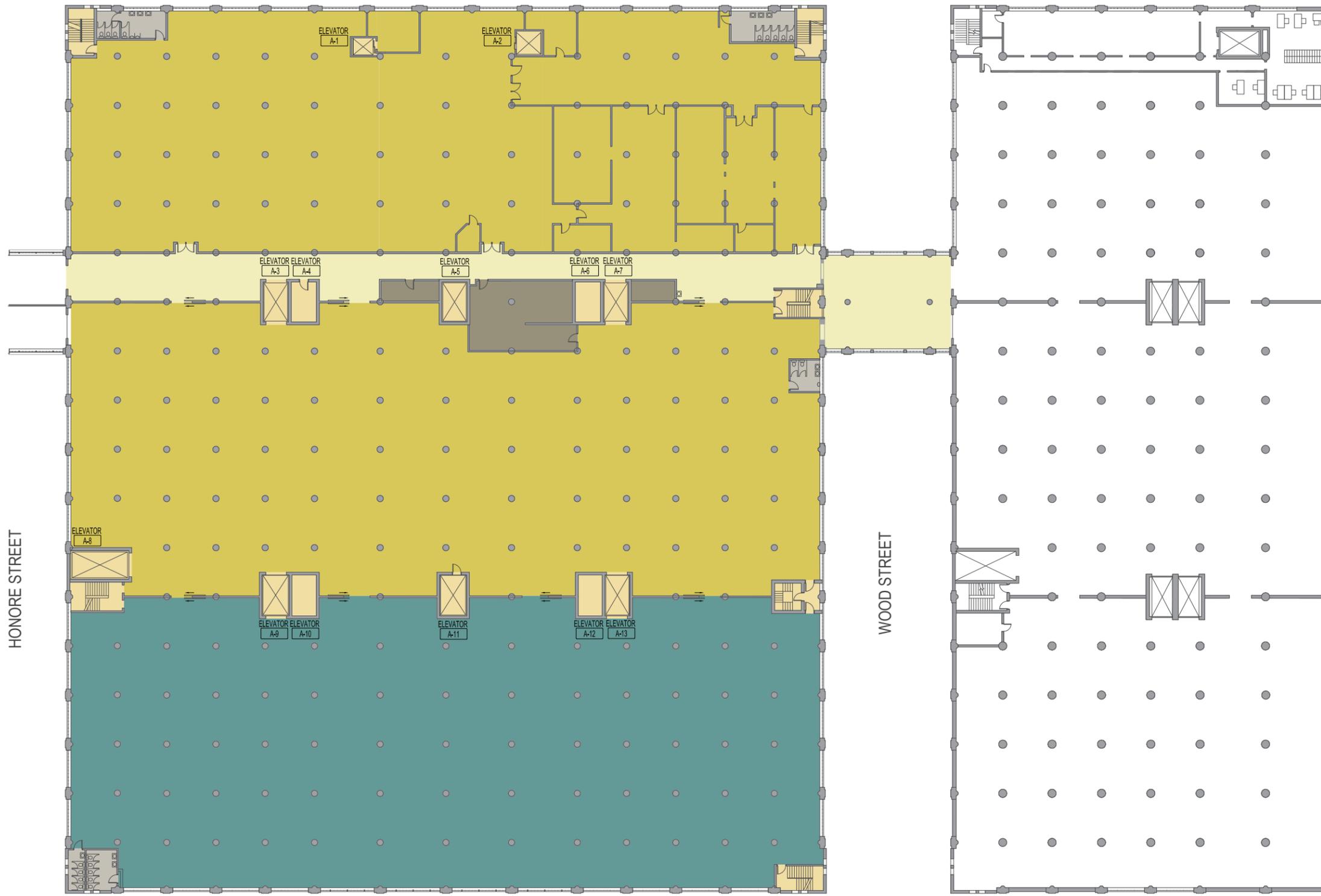
WOOD STREET

Existing First Floor Plan



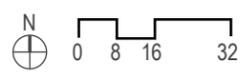
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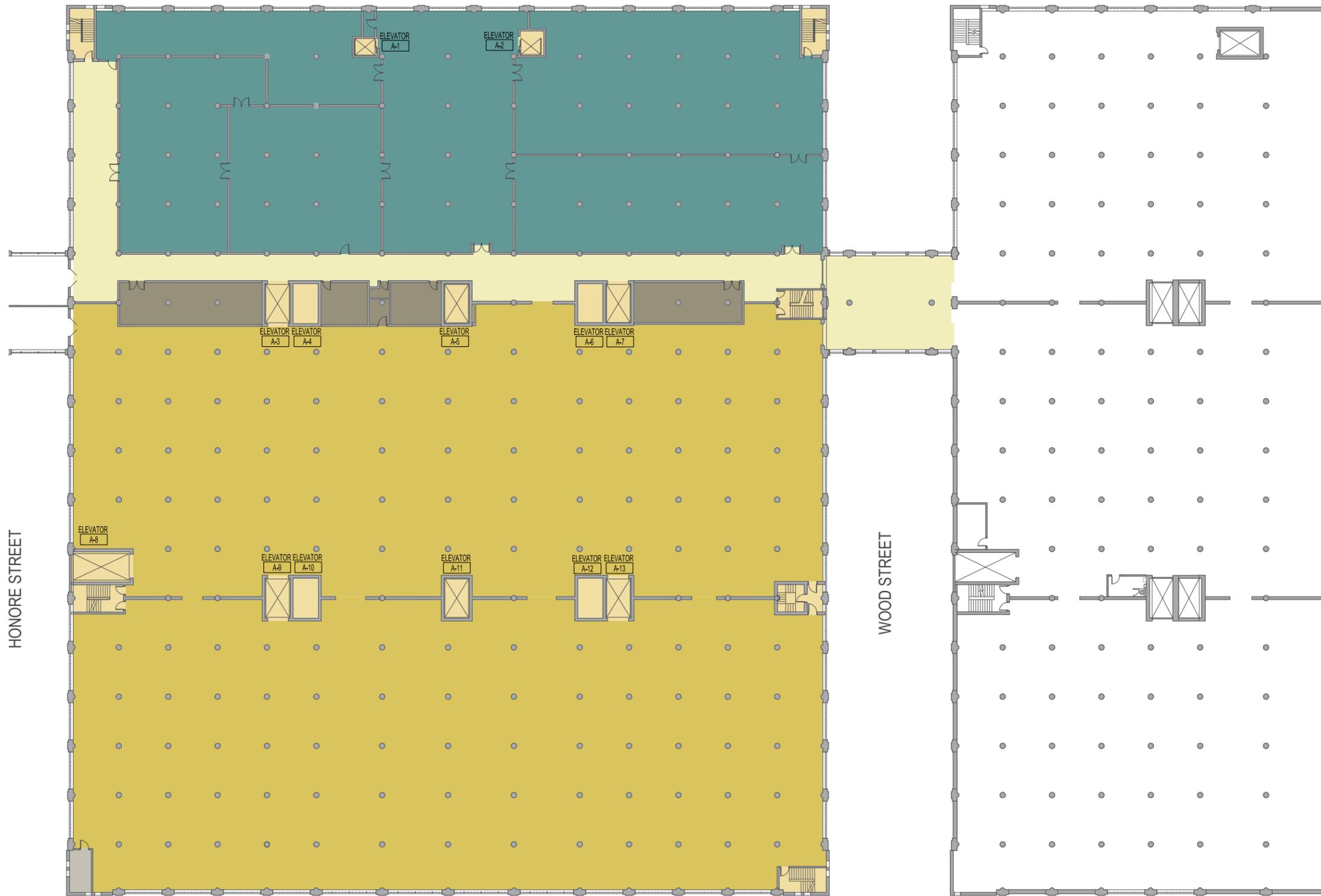
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Existing Second Floor Plan



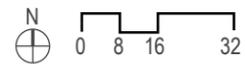
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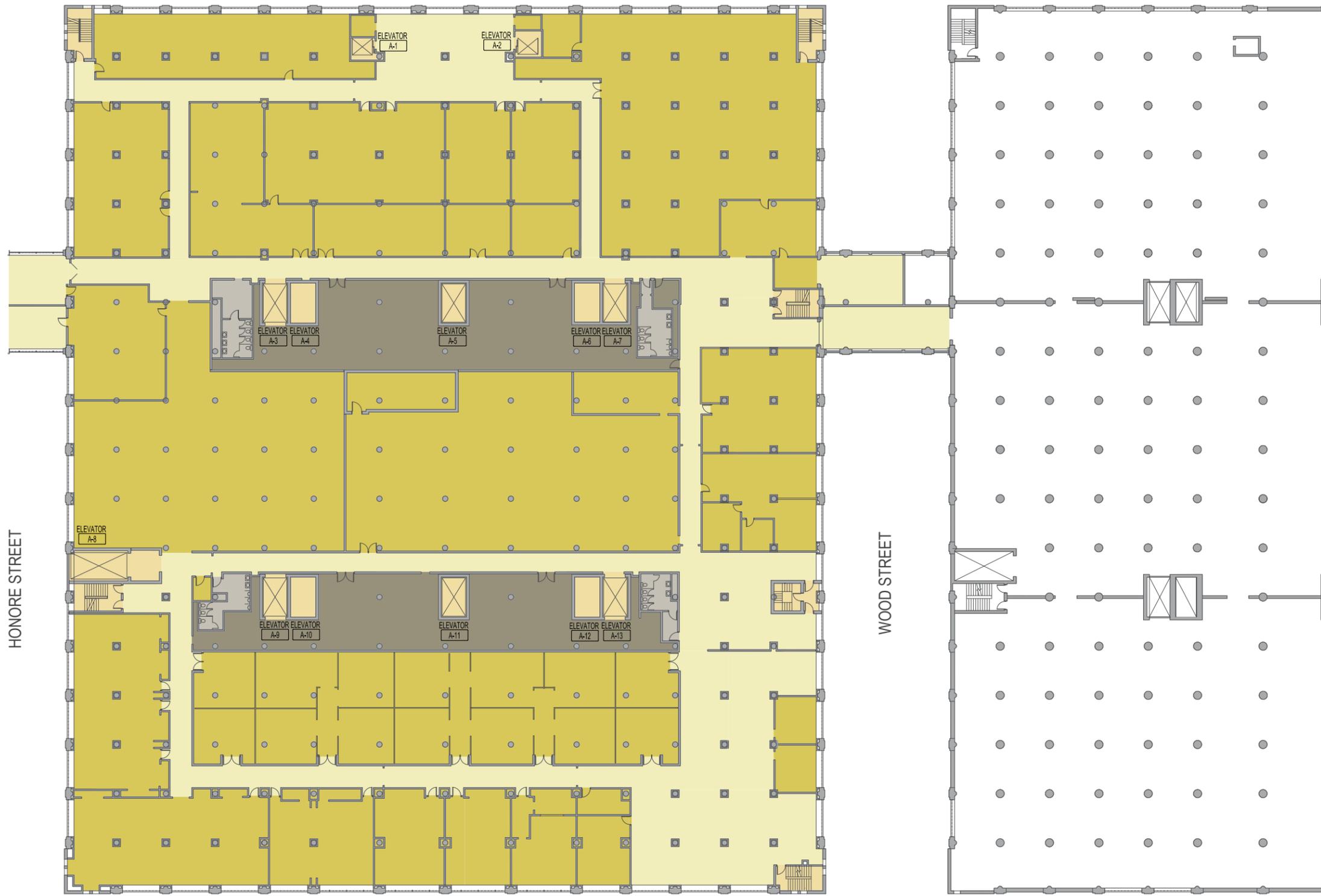
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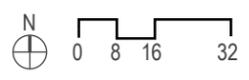
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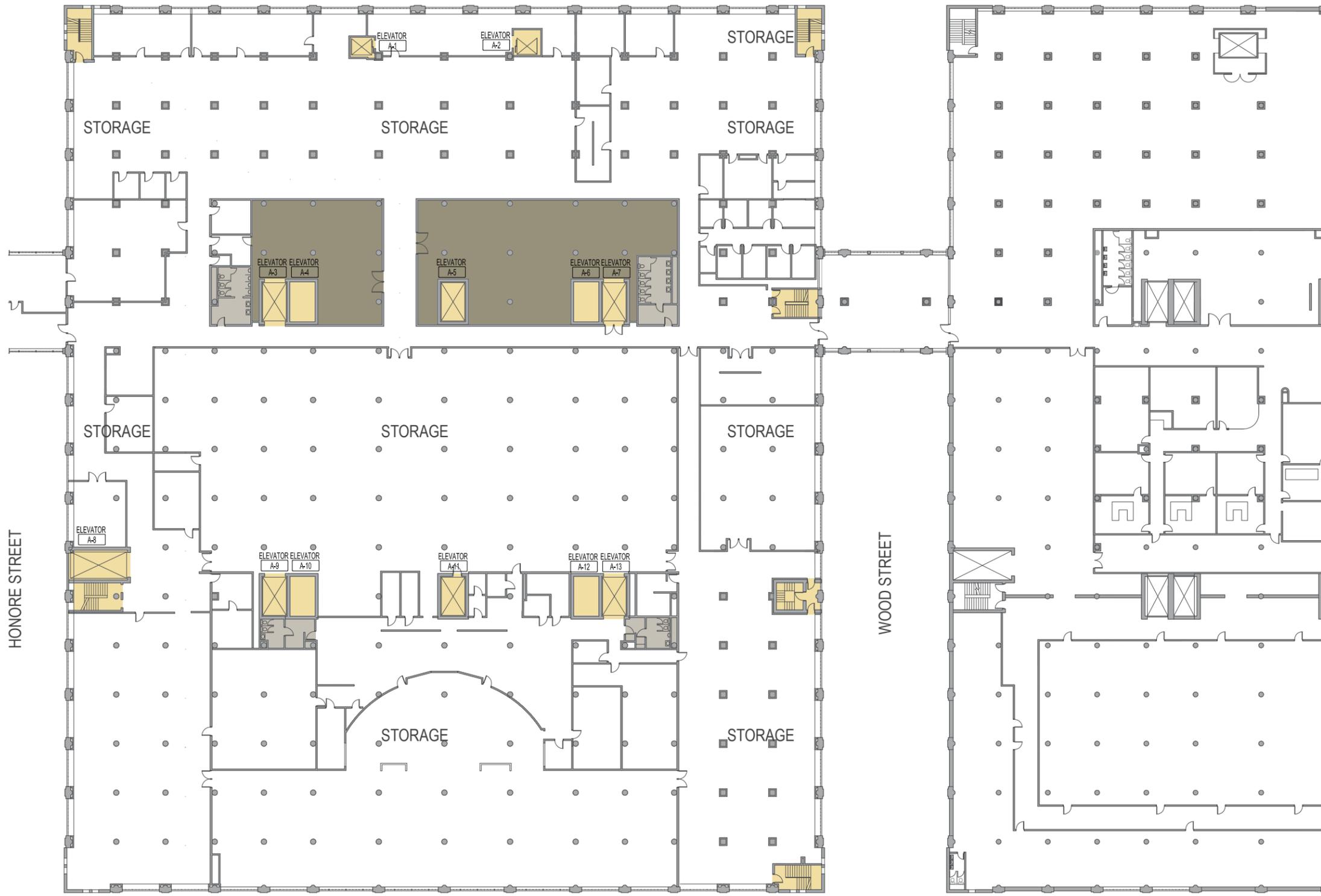
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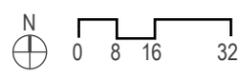
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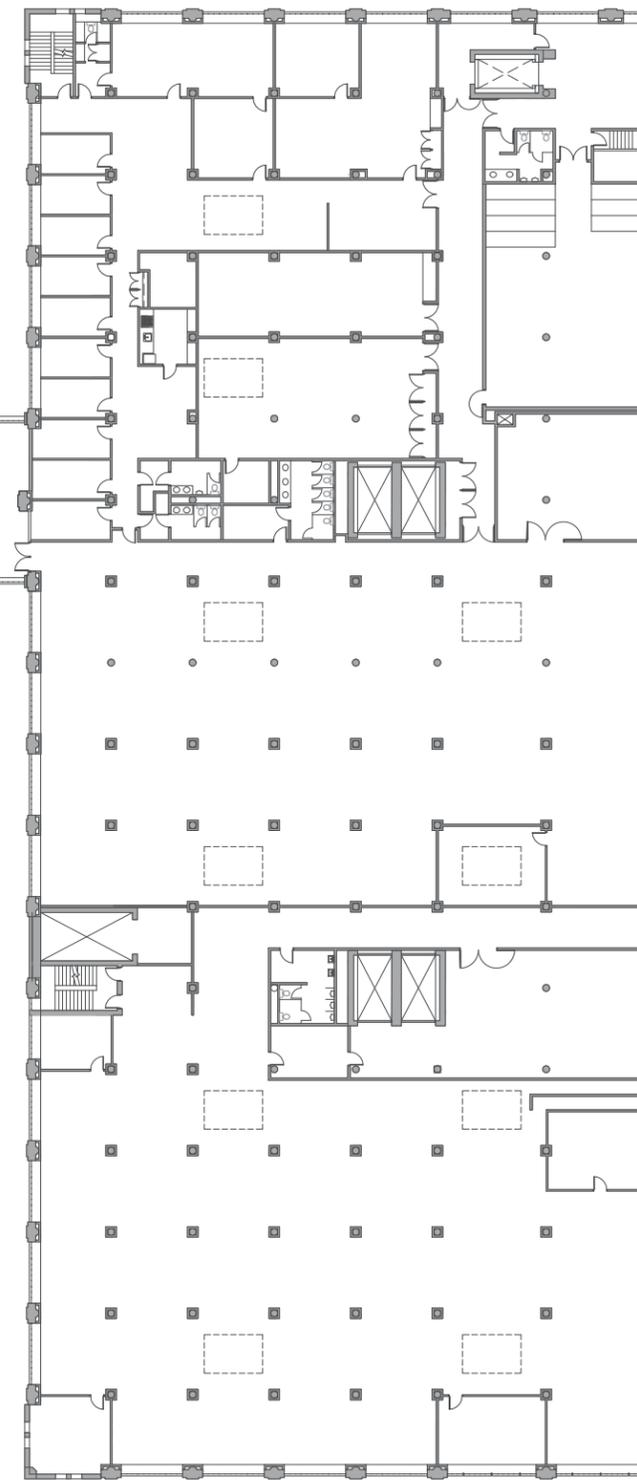
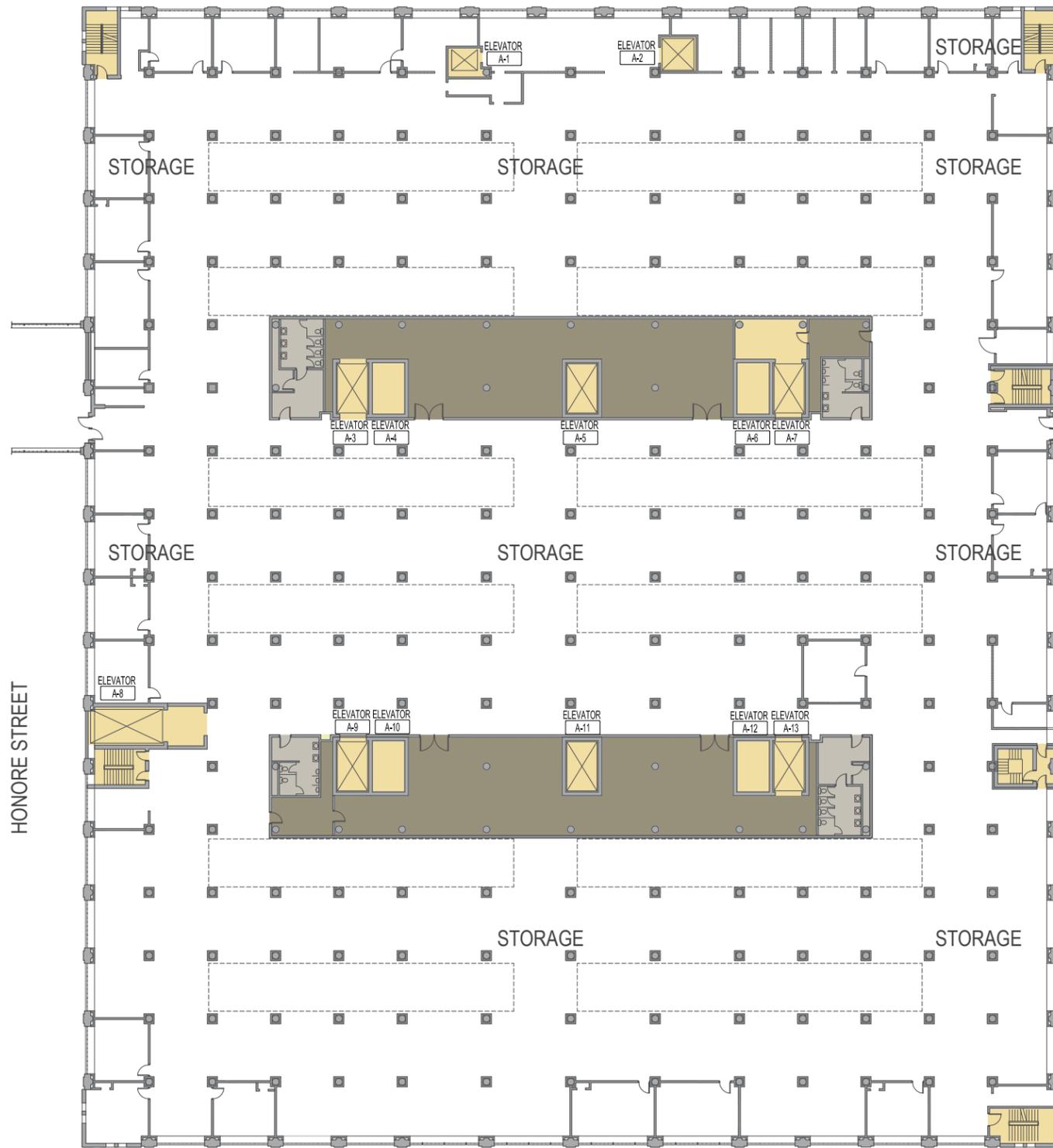
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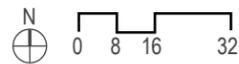
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