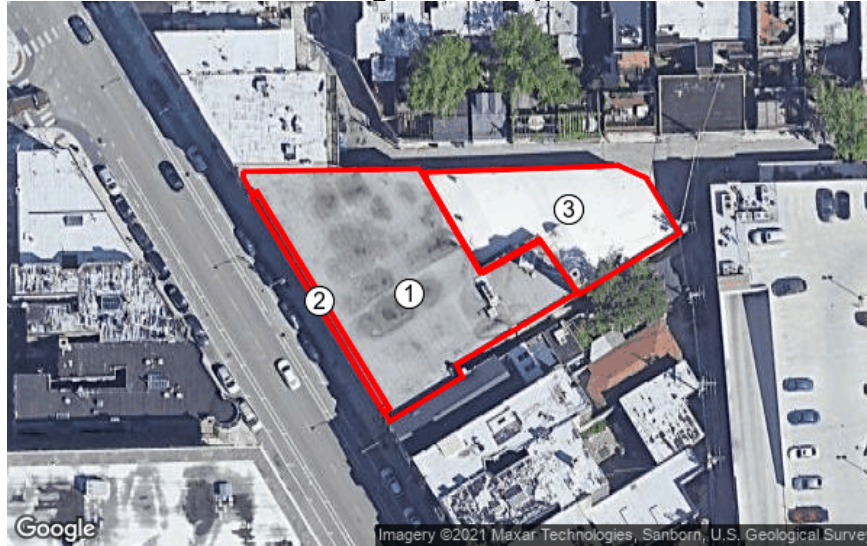


## EXHIBIT B



### Management Report



The HOH Group, Inc.  
Lakeview Health Center  
2849 North Clark Street, Chicago, IL

Prepared For  
The HOH Group, Inc.



Powered By



## Site Overview



**Total Sections: 3**  
**Total Sq Ft: 15,792**

Map	Name	Sq Ft	Est Install	Grade
1	Main Roof	10,178	1999	D
2	Mansard Roof	477	1999	D
3	Barrel Roof	5,137		Not Included

**Lakeview Health Center**  
**2849 North Clark Street**  
**Chicago, IL 60657**

## Composition

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



Test Cut 1  
Wood Deck  
Red Rosin  
Base Sheet  
2-Ply Asphalt Felt Vapor Retarder  
Polyiso Insulation  
Perlite Coverboard  
Granulated Modified Bitumen Roof System  
Total 3" Thickness



Oct 20, 2021 - 5:33PM

The HOH Group, Inc.

**Lakeview Health Center**  
**2849 North Clark Street**  
**Chicago, IL 60657**

## Observations

**Section:** Main Roof

**Size:** 10178

**Overall Grade:** D

**Inspection Date:** 10/20/2021

**Inspector:** David Marcinkowski

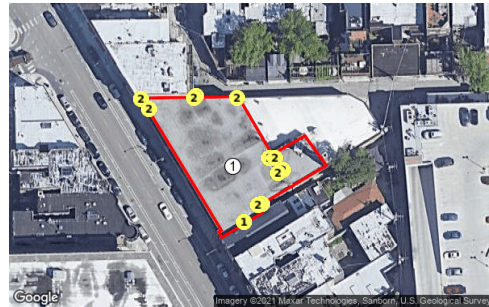


Lakeview Health Center  
2849 North Clark Street  
Chicago, IL 60657

## Deficiencies

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



### Modified Bitumen - Flashing- The flashing lap open (Emergency)

Quantity: 1 EA

#### Deficiency:

An open flashing lap will result in a roof leak and possible insulation damage.

#### Corrective Action:

We will clean and seal the open lap to ensure water tightness.



### Modified Bitumen - Flashing- Open flashing corner (Emergency)

Quantity: 1 EA

#### Deficiency:

The membrane flashing corner is open.

#### Corrective Action:

The corner will be repaired to make the flashing watertight.



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## Deficiencies (continued)

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



### General - Masonry- Masonry defective (Emergency)

Quantity: 1 EA

#### Deficiency:

The masonry on the parapet walls are deteriorated and need to be repaired.

#### Corrective Action:

The masonry should be repaired.



### Sheet Metal - Caulk- Caulking failure (Emergency)

Quantity: 1 LF

#### Deficiency:

The caulking has failed.

#### Corrective Action:

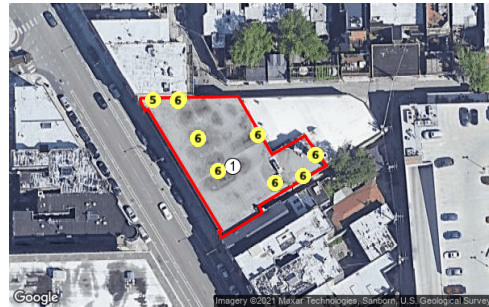
New caulking will be installed .

Lakeview Health Center  
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## Deficiencies (continued)

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



### Sheet Metal - Expansion Joint Open (Emergency)

Quantity: 1 LF

#### Deficiency:

Sheet metal cap was not properly designed as an expansion joint and is deformed.

#### Corrective Action:

Install a new sheet metal expansion joint cap.



### Modified Bitumen - Penetration- Plumbing vent lead flashing base (Emergency)

Quantity: 1 EA

#### Deficiency:

The base of the lead flashing is open.

#### Corrective Action:

The base of the lead flashing will be sealed with roof cement.

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## Deficiencies (continued)

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



### Modified Bitumen - Walk pads missing (Emergency)

Quantity: 1 LF

#### Deficiency:

Walkpad are needed to protect the roof membrane.

#### Corrective Action:

We will install new walkpads.



### Modified Bitumen - Loose Debris (Emergency)

Quantity: 1 EA

#### Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

#### Corrective Action:

Remove loose debris from roof area.



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## Deficiencies (continued)

**Section:** Main Roof  
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**Inspector:** David Marcinkowski



### Modified Bitumen - Membrane- Puncture or Tear in Membrane (Emergency)

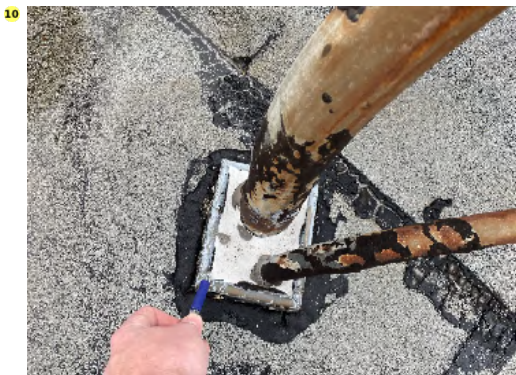
Quantity: 1 EA

#### Deficiency:

A puncture or tear has been discovered in the roof membrane.

#### Corrective Action:

The area surrounding the deficiency will be cleaned. A proper repair will be performed using compatible materials for the roof membrane type.



### Modified Bitumen - Penetration- Pitch Pan (Emergency)

Quantity: 1 EA

#### Deficiency:

The pitch pan around the pipe penetration needs to be refilled.

#### Corrective Action:

The pitch pan will be refilled to prevent water leakage.

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## Deficiencies (continued)

**Section:** Main Roof  
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### Modified Bitumen - Membrane- Ponding (Emergency)

Quantity: 1 LF

#### Deficiency:

Ponding of water on the roof.

#### Corrective Action:

Ponding will lead to the premature failure of the roof membrane.



### General - Leaking Area (Emergency)

Quantity: 1

#### Deficiency:

The roof is leaking in this area.

#### Corrective Action:

The roof will be inspected in this area and deficiencies repaired as needed.

**Lakeview Health Center**  
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## Summary

**Section:** Main Roof  
**Size:** 10178  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



## Condition Summary

Membrane: D  
 Flashings: D  
 Sheet Metal: C

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Overall: D

### Overall Grade

A = 10 Years or more of service life remaining  
 B = 8-10 Years of service life remaining  
 C = 5-7 Years of service life remaining  
 D = 2-4 Years of service life remaining  
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2023

## Recommendations

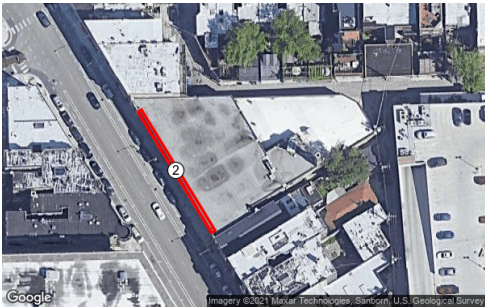
The existing roof is reaching the end of its serviceable life. The lack of tapered insulation has lead to ponding and the premature deterioration of the roof membrane. Numerous leaks have been reported inside. Flashings are beginning to open, even those that have previously been repaired. Satellite imagery was unable to verify when the last roof was installed. A-1 recommends a complete tear-off and replacement.



Lakeview Health Center  
2849 North Clark Street  
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Composition

Section: Mansard Roof  
Size: 477  
Overall Grade: D  
  
Inspection Date: 10/20/2021  
Inspector: David Marcinkowski

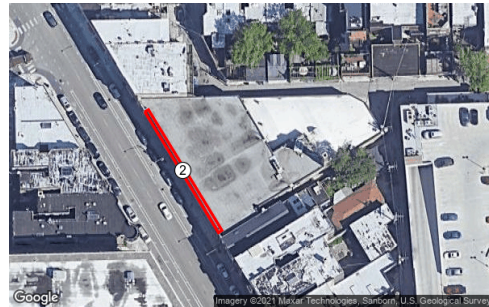


No Test Cut Performed  
Wood Deck (suspected)

## Observations

**Section:** Mansard Roof  
**Size:** 477  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



## Deficiencies

**Section:** Mansard Roof  
**Size:** 477  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



### Shingles - Shingles are damaged (Emergency)

Quantity: 1 LF

#### Deficiency:

Shingles showing signs of visible damage

#### Corrective Action:

Shingles will be removed and replaced with new,



### Shingles - Shingles are worn (Emergency)

Quantity: 1 LF

#### Deficiency:

Shingles are showing signs of weathering and age.

#### Corrective Action:

Shingles will be removed and replaced with new.

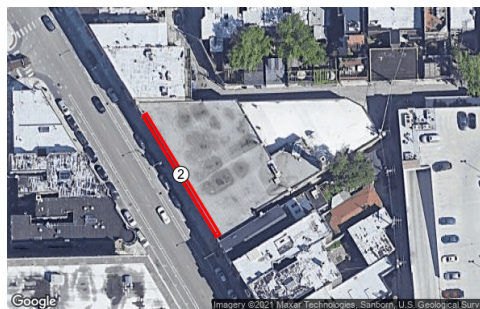


**Lakeview Health Center**  
**2849 North Clark Street**  
**Chicago, IL 60657**

## Summary

**Section:** Mansard Roof  
**Size:** 477  
**Overall Grade:** D

**Inspection Date:** 10/20/2021  
**Inspector:** David Marcinkowski



## Condition Summary

Membrane: D  
 Flashings: C  
 Sheet Metal: C

---

Overall: D

## Overall Grade

A = 10 Years or more of service life remaining  
 B = 8-10 Years of service life remaining  
 C = 5-7 Years of service life remaining  
 D = 2-4 Years of service life remaining  
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2023

## Recommendations

The existing roof is reaching the end of its serviceable life. Shingles are becoming worn and beginning to cup. Significant shingle damage is apparent in one area. The roof could only be overserved from street level at the time of inspections. Satellite imagery was unable to verify when the last roof was installed. A-1 recommends a complete tear-off and replacement. Please note that the street lights may have to be moved for this work to take place.