



ALL CONSTRUCTION GROUP

ADDENDUM NO.: 01
PROJECT NAME: North Park Village (NPV) Chapel-Building F (Bid Package 1 - Roofing)
PROJECT NO.: 04037
DATE OF ISSUE: 6/7/2023

NOTICE OF CHANGES, MODIFICATIONS, OR CLARIFICATIONS TO CONTRACT DOCUMENTS

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

ITEM NO. 1: CHANGE TO KEY DATES

Change 1 The **Bid Due Date and Time** has been **RESCHEDULED** to Friday, June 16, 2023 at 10:30a.m.

ITEM NO. 2: REVISIONS TO BOOK 1 – INSTRUCTIONS TO BIDDERS

None

ITEM NO. 3: REVISIONS TO BOOK 2 – STANDARD TERMS AND CONDITIONS

None

ITEM NO. 4: REVISIONS TO BOOK 3 – TECHNICAL SPECIFICATIONS

Change 1 **Revised** Specification 00 01 10 Table of Contents, updated to remove specifications not included in scope

Change 2 **Removed** Specification 03 01 30 Maintenance of Cast-in-Place Concrete, removed from scope

Change 3 **Removed** Specification 03 10 00 Concrete Formwork, removed from scope

Change 4 **Removed** Specification 09 01 24 Plaster Renovation, removed from scope

Change 5 **Removed** Specification 09 91 23 Interior Painting, removed from scope

ITEM NO. 5: REVISIONS TO DRAWINGS

Change 1 **Revised** COVER, changed the drawing index to eliminate the sheets noted below.

Change 2 **Revised** G002 General Notes, changed to include tree pruning guidelines.

Change 3 **Revised** G-010 Site Plan, updated to reflect two additional existing trees on the north of the chapel.

Change 4 **Removed** A-100 Existing Basement RCP, removed from scope

Change 5 **Removed** A-101 Existing First Floor Plan, removed from scope

Change 6 **Removed** A-102A Existing Second Floor Plan, removed from scope

Change 7 **Removed** A-103A Existing Second Floor RCP, removed from scope

Change 8 **Removed** S-100 Basement Plan, removed from scope

ITEM NO. 6: REQUESTS FOR INFORMATION

Question 1 Will the trees be removed at the north end of the building so we can access our work? Will this be by others or does it need to be included in our price.

Answer: No, the existing trees do not need to be removed. Please refer to Note 6 on Sheet G-002 General Notes for Existing Site Elements. If tree pruning is required, please refer to Tree Pruning Notes which have been added to Sheet G-002. Sheet G-002 has been revised and is included in this addendum.

Question 2 Is there any interior repair (plaster, concrete repair, painting, etc) as mentioned on the bid documents for the roofing scope? Is that another package that other trades are bidding? The partial scope list in the ITB does not include these items that are on the plans.

Answer: Scope of work for this bid package only includes roofing. All other scope has been removed from the Bid Package.

END OF ADDENDUM NO. 01

SECTION 00 01 10
TABLE OF CONTENTS

PROCUREMENT AND CONTRACTING REQUIREMENTS

Division 00 -- Procurement and Contracting Requirements

- 00 01 03 - Project Directory
- 00 01 10 - Table of Contents
- 00 31 00 - Available Project Information
- 00 31 00.20 - Existing Drainage and Utility Structures
- 00 31 00.30 - Roofing Inspection Report

SPECIFICATIONS

Division 01 -- General Requirements

- 01 10 00 - Summary
- 01 20 00 - Price and Payment Procedures
- 01 23 00 - Alternates
- 01 25 00 - Substitution Procedures
- 01 30 00 - Administrative Requirements
- 01 40 00 - Quality Requirements
- 01 42 16 - Definitions
- 01 50 00 - Temporary Facilities and Controls
- 01 60 00 - Product Requirements
- 01 61 16 - Volatile Organic Compound (VOC) Content Restrictions
- 01 70 00 - Execution and Closeout Requirements
- 01 74 19 - Construction Waste Management and Disposal
- 01 78 00 - Closeout Submittals
- 01 79 00 - Demonstration and Training

Division 02 -- Existing Conditions

- 02 41 00 - Demolition

Division 03 -- Concrete

- ~~03 01 30 - Maintenance of Cast in Place Concrete~~
- ~~03 10 00 - Concrete Formwork~~

Section Deleted per Addendum 1

Division 06 -- Wood, Plastics, and Composites

- 06 15 00 - Wood Decking
- 06 20 00 - Finish Carpentry

Division 07 -- Thermal and Moisture Protection

- 07 01 50.19 - Preparation for Re-Roofing
- 07 01 50.61 - Roof Deck Repair
- 07 32 13 - Clay Roof Tiles
- 07 52 16.12 Hot Applied Modified Bituminous Membrane Roofing
- 07 56 00 - Fluid-Applied Roofing

07 62 00 - Sheet Metal Flashing and Trim

~~Division 09 - Finishes~~

~~09 01 24 - Plaster Renovation~~

Section Deleted per Addendum 1

~~09 91 03 - Surface Preparation for Renovation Painting~~

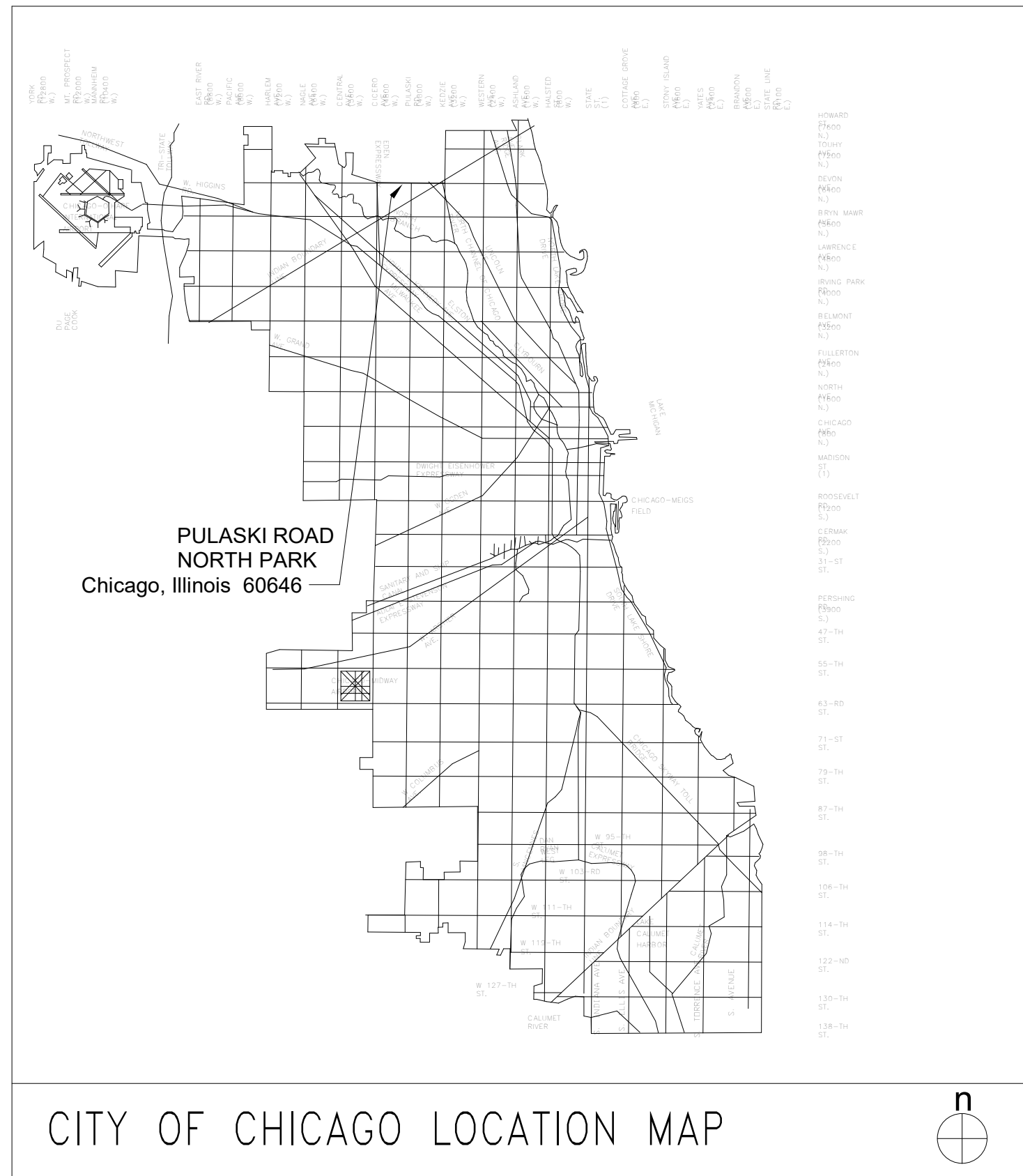
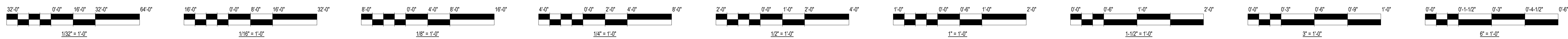
~~09 91 05 - Renovation Painting~~

~~09 91 13 - Interior Painting~~

Section Deleted per Addendum 1

~~09 91 23 - Exterior Painting~~

END OF SECTION



NORTH PARK VILLAGE- BUILDING F (CHAPEL)

5801 N. PULASKI RD.
CHICAGO, ILLINOIS 60646
PBC PROJECT NUMBER 04037

ADDENDUM #1
06.07.23



PUBLIC BUILDING COMMISSION OF CHICAGO

CITY OF CHICAGO
BRANDON JOHNSON, MAYOR

PUBLIC BUILDING COMMISSION OF CHICAGO
CARINA E. SÁNCHEZ, EXECUTIVE DIRECTOR

ASSETS, INFORMATION, AND SERVICES, CITY OF CHICAGO
SANDRA BLAKEMORE - COMMISSIONER



**NORTH PARK
VILLAGE**
5801 N. PULASKI
RD.
CHICAGO, IL 60646
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

ARCHITECT OF RECORD

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55 W Wacker Dr, Ste 600C
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P: 312.235.0920

STRUCTURAL ENGINEER

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ROOFING CONSULTANT

Illinois Roof Consulting Associates
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McHenry, IL 60050
P: 815.385.6560

LASER SCANNING & MODELING

Kevin Drake Architecture LLC
1026 Princeton Ave
Highland Park, IL 60035
P: 312.998.9455

PROJECT DESCRIPTION:

RE-ROOFING OF EXISTING 1 STORY CHAPEL BUILDING AT THE NORTH PARK VILLAGE CAMPUS. SCOPE INCLUDES RE-ROOFING OF ENTIRE ROOF.

CONSIDERED A REPAIR UNDER THE CHICAGO REHABILITATION CODE

BUILDING IS ON THE CHICAGO HISTORIC SURVEY - ORANGE LIST (LISTED AS M.T.S. CHAPEL - 5600-6000 PULASKI)



CITY OF CHICAGO BUILDING CODE CERTIFICATION STATEMENT

THIS IS TO CERTIFY THAT THESE DOCUMENTS HAVE BEEN PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT TO THE BEST OF MY KNOWLEDGE THESE DOCUMENTS COMPLY WITH THE CITY OF CHICAGO BUILDING CODE.

SIGNATURE: _____

DATE: _____

ILLINOIS LICENSE NUMBER: _____

REGISTRATION EXPIRATION DATE: _____

SHEET INDEX	
#	Name
010 - GENERAL	
COVER	COVER SHEET
G-001	CODE MATRIX
G-002	GENERAL NOTES
G-003	EXISTING CONDITIONS
G-010	SITE PLAN
020 - SURVEY	
SURVEY	SURVEY
030 - ARCHITECTURAL	
A-103A	ROOF DEMOLITION PLAN
A-103B	ROOF PLAN
A-301	BUILDING ELEVATIONS
A-302	BUILDING ELEVATIONS
A-303	BUILDING SECTIONS
A-400	DETAILS SHEET
A-401	DETAILS SHEET
STRUCTURAL	
S-000	GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
S-101	ROOF PLAN

ADDENDUM 1 - SHEETS
REFERENCING INTERIOR SCOPE
REMOVED FROM SET DRAWING
INDEX AND PROJECT DESCRIPTION



Architect of Record:
KOO LLC
55 WACKER DR.
STE 600C
CHICAGO, IL 60601
312-235-0920 PH

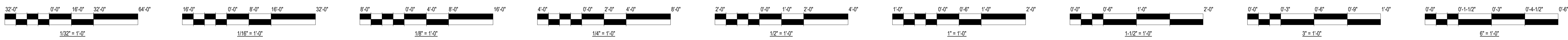
IMEG
263 Shuman Boulevard, Suite 550
Naperville, IL 60563
Chicago, IL
Structural Engineers of Record

Mark	Description	Date
1	70% CONSTRUCTION DOCUMENTS	04/22/22
2	100% CONSTRUCTION DOCUMENTS	06/17/22
3	ISSUE FOR BID	4/26/23
5	ADDENDUM 1	06/07/23

PBC Project Name: NORTH PARK VILLAGE
PBC Contract No: 04037
Project No.: 2139

Title:
COVER SHEET

Sheet
COVER



KOO ABBREVIATIONS

#	Number
@	At
AV	Audio/Visual
AC	Accessory
ACT	Acoustic Ceiling Tile
AF	Acoustical Finish
AF	Above Finished Floor
AL	Align
ALUM	Aluminum
AP	Access Panel
APPROX	Approximately
ARCH	Architectural
B/	Bottom Of
BK	Brick
BSMT	Basement
CFMF	Cold Formed Metal Framing
CG	Casegood
CJP	Cast-in-Place Concrete
CJ	Control Joint
CL	Center Line
CLG	Ceiling
CLO	Closed (Room)
CLR	Clear
CM@R	CONSTRUCTION MANAGER AT RISK
CMU	Concrete Masonry Unit
CO	Clean Out
COMM	Communications (Room)
CONC	Concrete
CONT	Continuous
CORR	Corridor
CP	Carpet
CT	Count
DIA	Diameter
DIM	Dimension
DN	Down
DTL	Detail
DWG	Drawing
EA	Each
EIFS	Exterior Insulation & Finish System
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
EQ	Equal
EQP	Equipment
ETR	Existing to Remain
EX	Exposed Construction
EXT	Exterior
FAA	Fire Annunciator Panel
FD	Fire Floor Drain
FEC	Fire Extinguisher Cabinet
FL	Floor
FND	Foundation
FRP	Fiber Reinforced Panel
GA	Gauge
GB	Glass Block
GC	General Contractor
GR	Granite
GYP BD	Gypsum Board
H	Height
HM	Hollow Metal
HP	High Point
HR	Hour
HSS	Hollow Structural Section
HW	Hardware
INS	Insulation
INT	Interior
JC	Janitor's Closet (Room)
L	Length

KOO ABBREVIATIONS

LP	Low Point
LT	Lighting Fixture
LVT	Luxury Vinyl Tile
MAT	Material
MAX	Maximum
MECH	Mechanical
MEZZ	Mezzanine
MFR	Manufacturer
MI	Millwork
MIN	Minimum
MISC	Miscellaneous
MP	Metal Panel
MTL	Metal
NIC	Not in Contract
NO	Number
NOM	Nominal
NRC	Noise Reduction Coefficient
NTS	Not to Scale
OC	On Center
OS	Occupancy Sensor
QTY	Quantity
PERP	Perpendicular
PL	High Pressure Plastic Laminate
POS	Point of Service
PSF	Pounds per Square Foot
PSI	Pounds per Square Inch
PT	Paint
QT	Quarry Tile
R	Riser OR Radius
RB	Resilient Base
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQ	Required
REV	Revision
RF	Resilient Flooring
RM	Room
RO	Rough Opening
RTU	Rough Top Unit (Mechanical)
SC	Sealed Concrete
SD	Smoke Detector
SF	Square Foot
SG	Seating
SIM	Similar
SL	Sealant
SOG	Slab on Grade
SPEC	Specified OR Specification
SS	Solid Surface
SSTL	Stainless Steel
ST	Stone
STC	Sound Transmission Coefficient
STD	Standard
STO	Storage (Room)
T	Tile (Porcelain or Ceramic) OR Tread
Top Of	Top Of
THK	Thickness
TME	To Match Existing
TS	Transition Strip
TYP	Typical
UNO	Unless Noted Otherwise
VB	Vinyl Base
VCT	Vinyl Composition Tile
VIF	Verify in Field
W	Width
W/	With
W/OUT	Without
WC	Wall Covering
WD	Wood (Solid or Veneer)
WF	Wood Floor
WP	Workpoint

DRAWING SYMBOLS

DRAWING IDENTIFICATION

NORTH ARROW

DELTA REVISION

CALLOUT MARKER

SECTION MARKER

ELEVATION MARKER - INTERIOR

ELEVATION MARKER - EXTERIOR

LEVEL IDENTIFICATION

COLUMN BUBBLE

WALL TYPE IDENTIFICATION

DOOR IDENTIFICATION

ROOM IDENTIFICATION

WINDOW TYPE IDENTIFICATION

FIXTURE / EQP IDENTIFICATION

KEYED NOTE - ARCHITECTURE

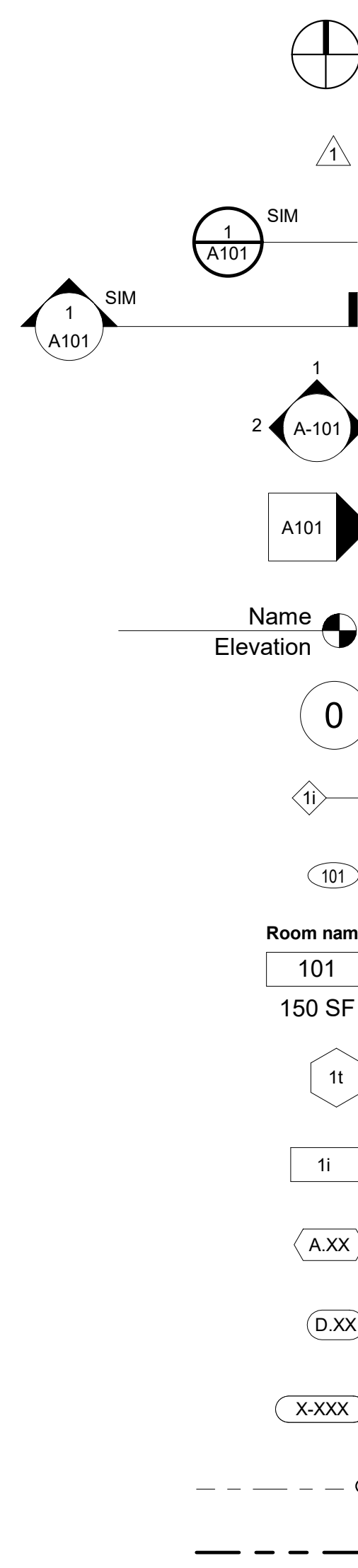
KEYED NOTE - DEMOLITION

KEYED NOTE - INTERIORS

CENTERLINE

PROPERTY LINE

1 VIEW NAME
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- ALL ELEVATIONS INDICATED ON THE DRAWINGS ARE BASED ON THE FINISHED FLOOR ELEVATION AT THE BUILDING ENTRY TO BE PROJECT 0'-0" ELEVATION WHICH IS EQUAL TO XX CITY OF CHICAGO DATUM.
- REFER TO CIVIL, LANDSCAPING, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- THE CM@R SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREIN. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION TO THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- THE CM@R SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- THE CM@R SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO DEMOLITION AND CONSTRUCTION OPERATIONS.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED FOR THE WORK.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED WHERE SPECIAL DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT.
- NOTES AND REFERENCES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIALS. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLICABLE TO RELATED DRAWINGS AND DETAILS.
- IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE "GENERAL NOTES", DRAWINGS, AND/OR PROJECT MANUAL, THE CM@R SHALL NOTIFY THE ARCHITECT TO RESOLVE THE DISCREPANCY.
- ANY DETAILS, SYSTEMS, MATERIALS, ETC. WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.
- ALL CONCRETE CURBS SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE ANCHORED AND REINFORCED AS SHOWN ON STRUCTURAL DRAWINGS OR AS REQUIRED U.N.O.
- ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION WHICH IS REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE INSTALLED PER THE MANUFACTURERS' PUBLISHED TESTED ASSEMBLIES AND SHALL BE TIGHT AND PREVENT THE PASSAGE OF SMOKE OR FLAME.
- ALL EXTERIOR EXPOSED FERROUS METAL WORK LOCATED ON EXTERIOR OR IN OTHER NON CONDITIONED SPACES SUCH AS THE TRASH ENCLOSURE SHALL BE FULLY HOT DIPPED GALVANIZED (INCLUDING AFTER WELDING AREA) AND PAINTED.
- PROVIDE 7'-0" MINIMUM HEADROOM CLEARANCE TO ALL STRUCTURAL FRAMING, METAL WORK, PIPING, LIGHTING, DUCT WORK, ETC., IN ALL EXIT PASSAGES AT ALL CONDITIONS.
- FLAME SPREAD RATING FOR ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.
- CM@R SHALL COORDINATE PLACEMENT OF AIR CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION WORK AND CEILING INSTALLER, WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION. REVIEW WITH ARCHITECT.
- ALL EXTERIOR SOFFITS SHALL BE SEALED AND SHALL BE CONSTRUCTED WITH RIGID FRAME MEMBERS AND SHALL RESIST UPLIFTING 2 TIMES THE SPECIFIED AND CODE REQUIRED WIND PRESSURE LOADING, WHICHEVER IS GREATER. ALL EXTERIOR SOFFITS SHALL BE INSULATED PROVIDING A "U" FACTOR OF 0.062, UNLESS NOTED OTHERWISE.
- KITCHEN EXHAUST DUCTS SHALL BE TOTALLY SEPARATED FROM ANY AND ALL OTHER DUCTS, PIPES, ETC., BY A TWO HOUR RATED ENCLOSURE.
- PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION. SUBMIT SHOP DRAWINGS LOCATING ALL ACCESS PANELS.
- ALL BUILT IN COUNTERTOPS, VANITIES, GRAB BARS, BUILT IN SEATING, OR SIMILAR ITEMS THAT ARE ATTACHED TO PARTITIONS AND PROJECT HORIZONTALLY SHALL RESIST A POINT LOADING CRITERIA OF 250 LBS PER LINEAR FOOT. THE CM@R IS COORDINATE AND SIZE ANY REQUIRED BLOCKING AND FASTENERS TO INSTALL THE WORK AND MEET THE LOADING CRITERIA ABOVE. GENERAL CM@R TO COORDINATE ALL BLOCKING LOCATIONS BETWEEN TRADES.
- THE CM@R TO PROVIDE AND COORDINATE ALL EQUIPMENT HOUSEKEEPING PADS BETWEEN MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION OR ANY AND OTHER CM@RS AND TRADES.
- ALL ELEVATIONS INDICATED ON ROOF PLANS ARE TOP OF HIGHEST ASSEMBLY ROOF MATERIAL (U.N.O.)
- UNLESS AGREED BY ARCHITECT, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES.
- ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, AND AT PENETRATION OF MECHANICAL, ELECTRICAL AND PLUMBING ELEMENT OF EXTERIOR WALL SHALL BE SEALED OR WEATHER STRIPPED TO PREVENT AIR LEAKAGE. PROVIDE TWO STAGE JOINT SYSTEM AT ALL PERIMETERS.
- ALL EXTERIOR DOORS SHALL PREVENT AIR LEAKAGE/INFILTRATION AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION.
A) PROVIDE SEAL OR ASTRAGAL AT HEAD, SILL AND JAMBS
- WHERE RECESSED OR NON-MODULAR FIXTURES ARE USED THEY ARE TO BE CENTERED IN THE CEILING TILE PATTERN AS INDICATED OR CAN BE INFERRED FROM THE DRAWINGS U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION, SIZE AND THICKNESS OF ALL RETAINING WALLS, WALLS AND COLUMNS.
- REFER TO PLUMBING, AND/OR CIVIL DRAWINGS FOR LOCATION OF ALL TRENCH DRAINS, SUMP, AND SOIL DRAINAGE, ETC.

- ALL ELEVATOR OPENINGS SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE ELEVATOR CM@R PRIOR TO FORMING. REQUIRED MODIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ELEVATOR CM@R AND ARCHITECT PRIOR TO FORMING OPENINGS
- ALL FIRE RATINGS INDICATED ARE TO COMPLY WITH THE UNDERWRITERS LABORATORIES TEST RATINGS OR BE IN CONFORMANCE WITH THE CITY OF CHICAGO BUILDING CODE.
- WHERE TWO SPACES REQUIRING RATINGS ADJACENT, THE HIGHER RATING SHALL GOVERN
- WHERE THE FIRE RATING OF ENCLOSURE WALLS ARE NOTED ON THE DRAWINGS, THE FIRE RATING SHALL APPLY TO THE ENTIRE PERIMETER ENCLOSURE OF THE ROOM-SPACE FOR THE FULL LENGTH AND HEIGHT OF AREA BEING SEPARATED.
- THE SPACE BETWEEN SLAB EDGE AND EXTERIOR WALL AND AIR OPENINGS IN THE FLOOR SLAB AND/OR RATED WALLS, INCLUDING SPACES BETWEEN DUCTS, CONDUITS, PIPING, ETC., (EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION) SHALL BE FIRE STOPPED (SEALED) WITH APPROVED FIRE STOP MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FLOOR OR WALL CONSTRUCTION, AND SHALL BE TIGHT TO PREVENT THE PASSAGE OF SMOKE.

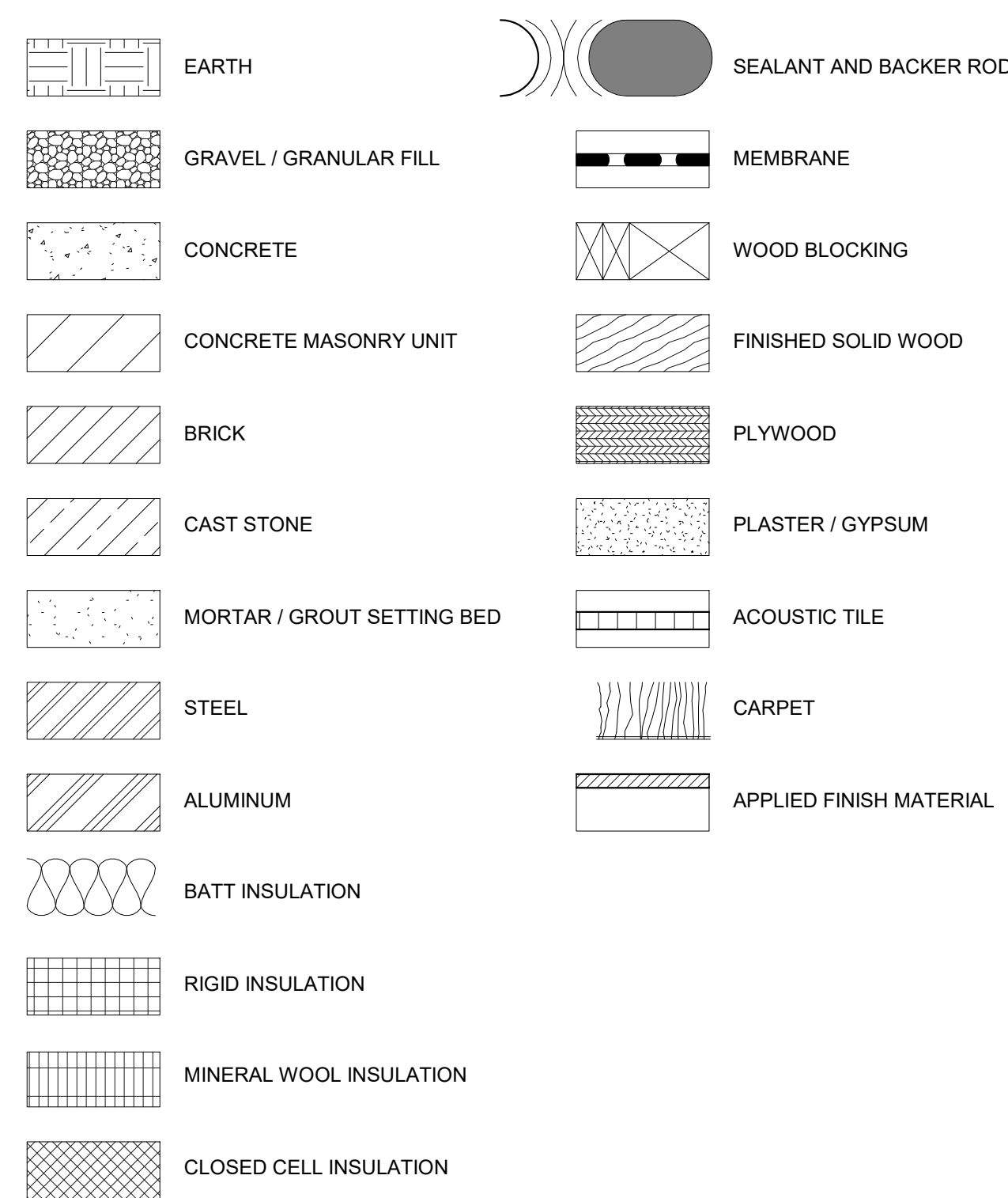
DIMENSION NOTES

- PARTITIONS ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL U.N.O.
- DIMENSIONS SHALL GOVERN. DO NOT SCALE DRAWINGS. THE CM@R SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS.
- ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- UNLESS NOTED OTHERWISE, ALL MECHANICAL SHAFTS ARE DIMENSIONED TO THEIR CLEAR INSIDE OPENING.
- VERTICAL DIMENSIONS ON INTERIOR ELEVATIONS, SECTIONS, DETAILS, AND OTHER SIMILAR DRAWINGS ARE DIMENSIONED TO THE FINISHED FLOOR U.N.O.

TREE PRUNING IF REQUIRED:

- ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST
- PRUNE REMAINING TREES AFFECTED BY TEMPORARY AND NEW CONSTRUCTION AS REQUIRED.
- PRUNE REMAINING TREES TO COMPENSATE FOR ROOT LOSS CAUSED BY DAMAGING OR CUTTING ROOT SYSTEM
- PRUNE TREES ACCORDING TO ANSI A300 PART 1 AND ANSI Z133.1
- CUT BRANCHES WITH SHARP PRUNING INSTRUMENTS. DO NOT BREAK OR CHOP.
- BRANCHES REMOVED FROM TREES ARE TO BE DISPOSED OF.
- ALL PRUNING AND TRIMMING TO BE IN COMPLIANCE WITH REQUIREMENTS OF THE BUREAU OF FORESTRY

MATERIAL SYMBOLS (CUT)



NORTH PARK VILLAGE
5801 N. PULASKI RD.
CHICAGO, IL 60646
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLANKENHORN

Architect of Record:
KOO LLC
55 WACKER DR.
STE 600C
CHICAGO, IL 60601
312-235-0920 PH

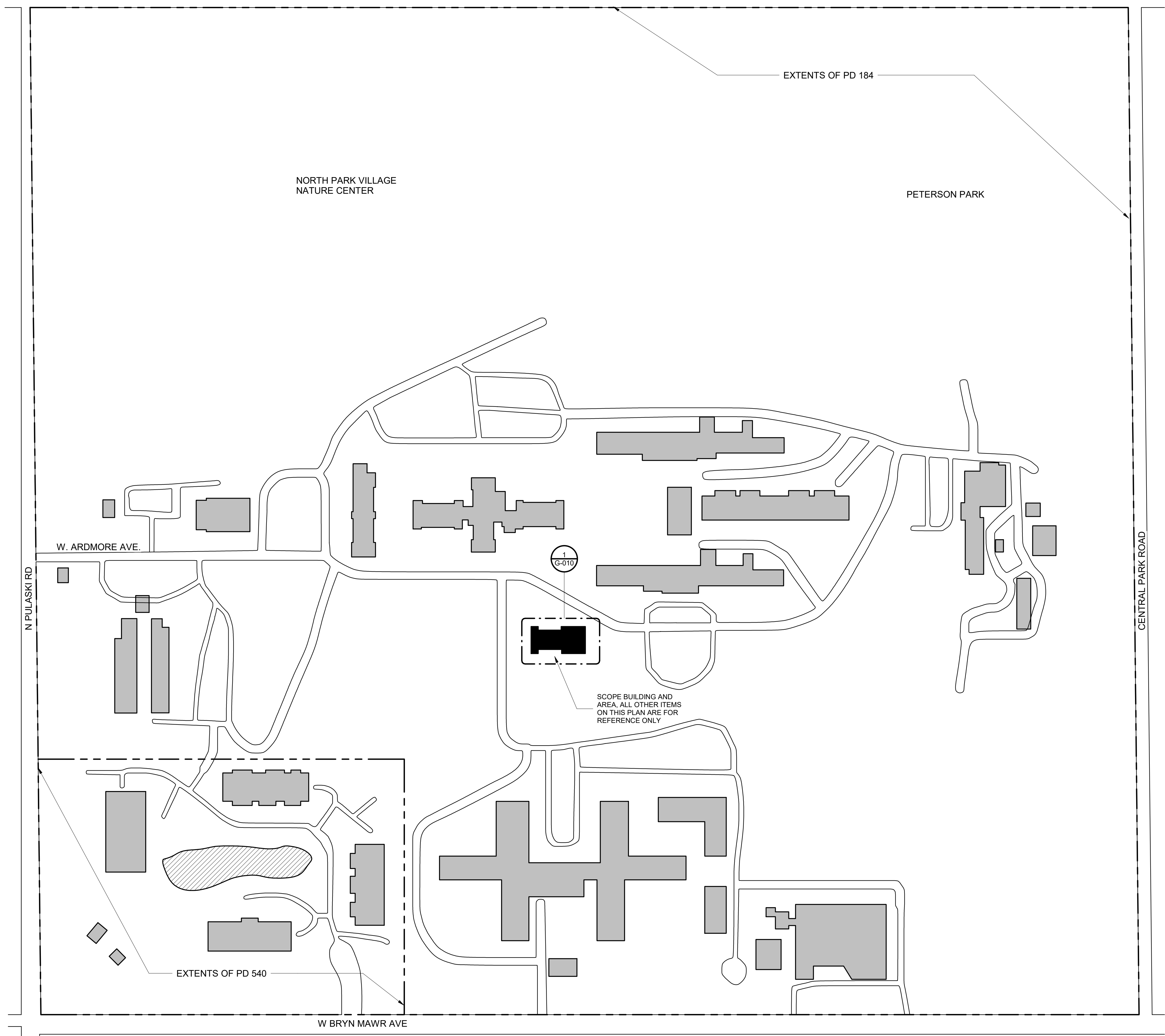
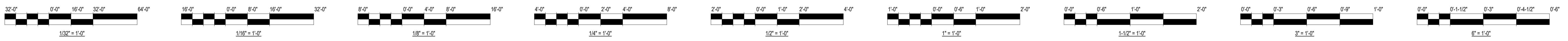
IMEG
263 Shuman Boulevard, Suite 550
Naperville, IL 60563
Chicago, IL
Structural Engineers of Record

Mark	Description	Date
1	70% CONSTRUCTION DOCUMENTS	04/22/22
2	100% CONSTRUCTION DOCUMENTS	06/17/22
3	ISSUE FOR BID	4/28/23
5	ADDENDUM 1	06/07/23

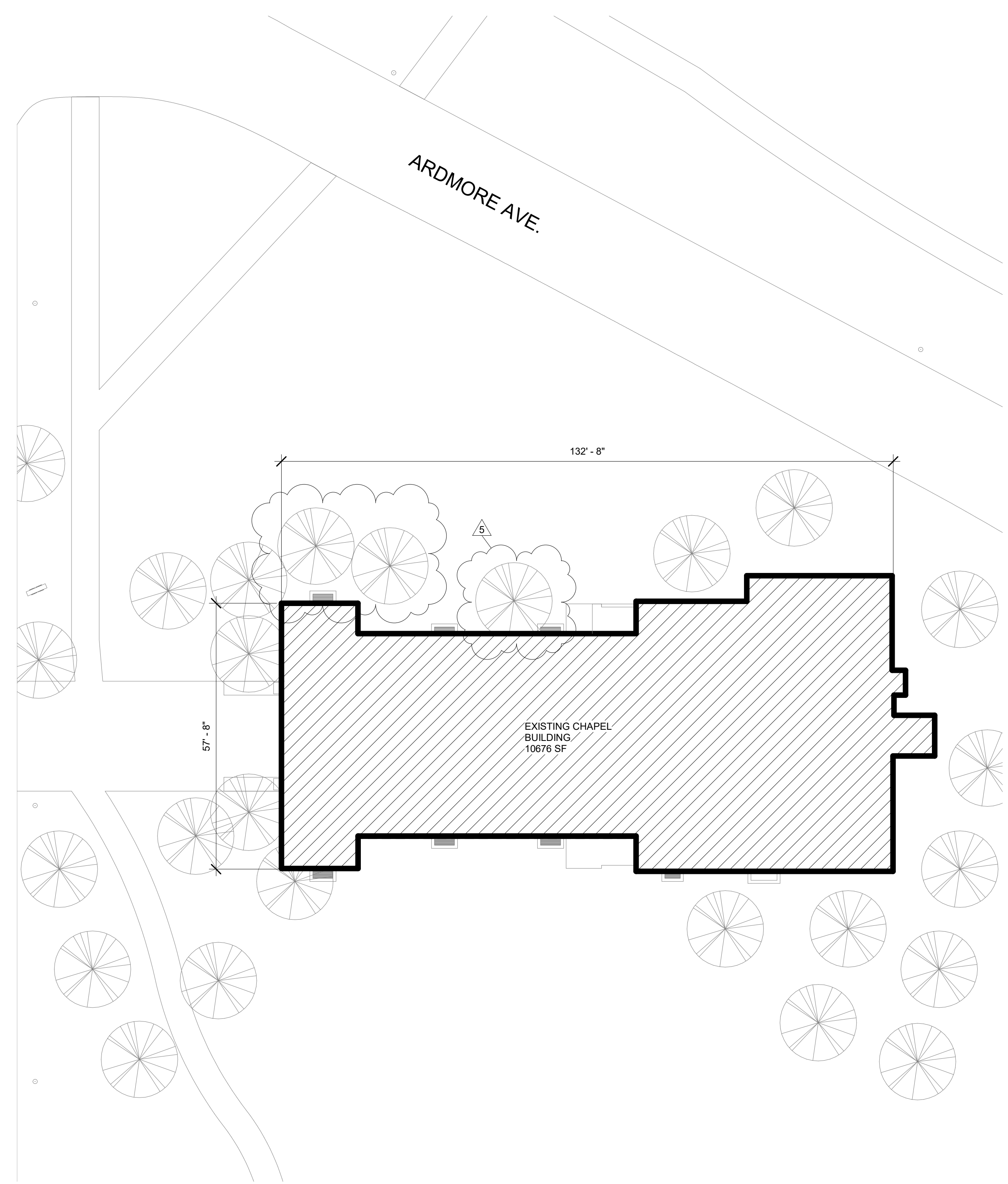
PBC Project Name: NORTH PARK VILLAGE
PBC Contract No: 04037
Project No.: 2139

Title: **GENERAL NOTES**

Sheet: **G-002**



2 CAMPUS PLAN
SCALE: 3" = 1'-0"



1 SITE PLAN
SCALE: 1/16" = 1'-0"

- GENERAL NOTES:**
1. NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 2. ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
 3. WHERE ELEMENTS ARE REMOVED FROM EXISTING CONSTRUCTION, PATCH, REPAIR, AND REFINISH SURFACES TO REMAIN TO MATCH ADJACENT SURFACES.
 4. ALL RELIGIOUS ICONOGRAPHY TO BE PROTECTED DURING CONSTRUCTION. CNIBS TO COORDINATE AND REMOVE ALL EXISTING TEMPORARY PROTECTION MEASURES FOR THE ROOF INCLUDING BUT NOT LIMITED TO LOOSE TARPS LAID OVER CLAY TILES, PLASTIC SHEETS ON THE INTERIOR OF BUILDING AND SIMILAR ITEMS.
 - 5.



NORTH PARK VILLAGE
5801 N. PULASKI RD.
CHICAGO, IL 60646
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

Architect of Record:
KOO LLC
55 WACKER DR.
STE 600C
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312-235-0920 PH

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263 Shuman Boulevard, Suite 550
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1	70% CONSTRUCTION DOCUMENTS	04/22/22
2	100% CONSTRUCTION DOCUMENTS	06/17/22
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5	ADDENDUM 1	06/07/23

PBC Project Name: NORTH PARK VILLAGE
PBC Contract No: 04037
Project No: 2139

Title: **SITE PLAN**

Sheet **G-010**