



ADDENDUM

Public Building Commission of Chicago | Richard J. Daley Center | 50 West Washington Street, Room 200 | Chicago, Illinois 60602 | (312) 744-3090 | pbcchicago.com

ADDENDUM NO.: 03
PROJECT NAME: Sherman Park Branch Library – Repairs and Renovations
PROJECT NO.: 08325
CONTRACT NO.: C1630
DATE OF ISSUE: July 30, 2026

NOTICE OF CHANGES, MODIFICATIONS, OR CLARIFICATIONS TO CONTRACT DOCUMENTS

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

ITEM NO. 1: CHANGE TO KEY DATES

- Change 1.** **Bid Due Date and Time** has been extended from Tuesday, August 4, 2026 at 11:00am to Friday, August 7, 2026 at 11:00am.
- Change 2.** **Pre-Award Meeting** has been rescheduled from Thursday, August 6, 2026 at 10:30am to Monday, August 10, 2026 at 9:30am.

ITEM NO. 2: REVISIONS TO BOOK 1 – PBC INSTRUCTIONS TO BIDDERS

- Change 1.** **DELETE** Page 6 of 44 and **REPLACE WITH** Page 16 of 44 included in this addendum. Revised 'Substantial Completion must be achieved no later than October 1, 2027.' to 'Substantial Completion must be achieved no later than October 29, 2027.'
- Change 2.** **DELETE** Page 10 of 44 and **REPLACE WITH** Page 10 of 44 included in this addendum. Revised 'Section III Instructions to Bidders, (P) Basis of Award, '(Line 6 of the Bid Form)' to '(Line 7 of the Bid Form)'.
- Change 3.** **DELETE** Page 15 of 44 and **REPLACE WITH** Page 15 of 44 included in this addendum. Revised Bid Form to include FF&E Allowance. (Excel Version)
- Change 4.** **DELETE** Revised Page 16 of 44 issued in Addendum No. 1 and **REPLACE WITH** Revised Page 16 of 44 included in this addendum. Revised Section IV (C) – Added 'FF&E Allowance in the amount of \$15,000.00'.
- Change 5.** **DELETE** Revised Page 18 of 44 and **REPLACE WITH** Page 18 of 44 included in this addendum. Revised Section V (A)(2) Award Criteria, '(Refer to Line 5 of BID FORM)' to '(Refer to Line 6 of BID FORM)'.

(NOTE: All documents referenced above may be found hyperlinked below)

ITEM NO. 3: REVISIONS TO BOOK 2 – PBC STANDARD TERMS AND CONDITIONS
None.

ITEM NO. 4: REVISIONS TO BOOK 3 – TECHNICAL SPECIFICATIONS

- Change 1** **Book 3 – Volume 1 – REVISED** – Table of Contents Specification Section 00 01 02.
- Change 2** **Book 3 – Volume 1 – REVISED** – Dimensional Letter Signage, Specification Section 10 14 19. Clarified existing signage characteristics.

ITEM NO. 5: REVISIONS TO DRAWINGS

- Change 1** **REVISED** Sheet G.02: Identified Addendum No.3 Changes.
- Change 2** **REVISED** Sheet C0.00: Added planter detail 7/C0.00.
- Change 3** **REVISED** Sheet S1.02: Added planter note to Drawing 1/S1.02.
- Change 4** **REVISED** Sheet ENV1.0: Revised Abatement Plan Legend, unused keynotes have been removed. Location of Negative Air Exhaust (NAE) has been identified. Note No.8 replaces CPS with Owner. Separation/construction barrier and associated keynote have been modified in plan for clarity.

- Change 5** **REVISED** Sheet ENV 1.1: Revised Abatement Plan Legend, unused keynotes have been removed. Location of negative air exhaust has been identified. Note No.8 replaces CPS with Owner. Separation/construction barrier and associated keynote have been modified in plan for clarity.
- Change 6** **REVISED** Sheet ENV 1.2: Revised Abatement Plan Legend, unused keynotes have been removed. Note No.8 replaces CPS with Owner.
- Change 7** **REVISED** Sheet ENV 1.3: Revised Abatement Plan Legend, unused keynotes have been removed. Note No.8 replaces CPS with Owner.

ITEM NO. 6: REQUESTS FOR INFORMATION

RFI-1.

Question: Can you please confirm/provide the following specifications for the building letters:

- Thickness
- Letter Height
- Character Font
- Mounting/Placement Height

It only says: "replicate existing historic signage letters at east entrance".

Response: The existing historic letters are approximately 12" tall (upper row), 9" tall (lower row), 1/4" thick with 1.5" stand-offs. Dimensions to be verified in field. Font to be custom to match existing historic letters. Please refer to revised Specification Section 10 14 19 Dimensional Letter Signage included in this addendum.

RFI-2.

Question: Please provide the pictograms for the interior panel signage OR confirm if we must build them based on the provided specifications.

Response: Please refer to the sign types indicated in Door, Frame, Hardware & Signage Schedule on drawing A7.01. Sign types are standard, commercially available ADA options.

RFI-3.

Question: Key Legend 1 Separation barrier not shown in plan. Please provide.

Response: Please refer to revised drawings Env1.1, included in this addendum. Separation/construction barrier is shown in plan. Separation/construction barrier and associated keynote have been modified in plan for clarity.

RFI-4.

Question: Legend NAE- not shown in plan, please provide location.

Response: Please refer to revised drawings ENV 1.0 and Env 1.1 included in this addendum. The NAE locations have been added to plan.

RFI-5.

Question: Containment Area - no removal - not marked in plan. Please clarify.

Response: Please refer to revised drawings ENV 1.0 and Env 1.1, included in this addendum. Containment Area - No Removal' area not used in plan. Unused keynotes have been removed for clarity.

RFI-6.

Question: Demarcation line shown in Room 110 and behind Circulation desk in Room 101 not defined. Please clarify.

Response: Please refer to revised drawing ENV1.1 included in this addendum. Demarcation line in these areas is the separation/construction barrier and has been modified for clarity.

RFI-7.

Question: Planter Detail- S1.02 refers to Landscape drawing. Landscape drawing refers to Architectural drawing. Architectural drawings refers to Civil drawing. Please provide detail of PLANTER.

Response: Please refer to revised drawings C0.00 and S1.02 included in this addendum.

RFI-8.

Question: There are 10 types of various wall partitions. All types can't be found in plans. Please delete unnecessary ones from the drawing.

Response: All wall types shown are referenced in the drawings.

RFI-9.

Question: Clarify lengths of joists as shown in Drg. S1.01 to be sistered as shown in Detail 3/S1.3.

Response: Full length of joist to be sistered. Please refer to the joist span indicated in drawing S2.01, plan 2. Verify in field.

RFI-10.

Question: There are about 27 locations shown in Plan for 4" core in plan. Is Detail 6/S2.01 for all for all the cores? If not, how many.

Response: Please refer to drawing S2.01, detail 6 for all 4" diameter cores, typical.

RFI-11.

Question: Please provide the name of the current BAS controls provider.

Response: There is no existing BAS system.

RFI-12.

Question: The Division 17 specifications identify the requirements for the Building Management System (BMS), controllers, graphics, commissioning, and training. However, no manufacturer, basis-of-design, or approved vendor list has been identified in the contract documents. Please clarify the acceptable contractor(s) for the Building Management System.

Response: Manufacturers are listed in Specification Section 17 80 00 Global Management System, Page 2, Section 1.5 G. There is no approved vendor list.

RFI-13.

Question: Document Reference G.04. Site Staging & Construction Limits Plan Note #6 states that the bid form includes an allowance of \$15,000 for removal and disposal of existing FF&E. This allowance is not listed on the bid form. Please advise if this allowance will be included.

Response: The Contract Documents, including the revised Bid Form included in this addendum, includes a separate Allowance in the amount of \$15,000 for the removal and proper disposal of any/all existing FF&E items (fixed and unaffixed). The purpose of the Allowance is intended to fund the removal and proper disposal of any/all existing FF&E items. The Contractor shall not include any costs for the removal and proper disposal of any/all existing FF&E items as part of the "Base Work Only."

RFI-14.

Question: Is the Environmental Allowance listed on the bid form for work above and beyond what is shown on the ENV drawings or should all costs for environmental work be excluded from the base bid?

Response: The Environmental Allowance is for discovered conditions during construction only. The Contractor shall include in its Base Bid the work as shown in the Contract Documents. Please refer to revised Book 1 – Instructions to Bidders, Section IV (C) List of Allowances, Notes for further details (Page 16 of 44) included in this addendum.

RFI-15.

Question: Can photos of the water damaged plaster areas be provided as no pre-bid site visit will be available?

Response: Per Specification Section 09 23 00 Gypsum Plastering, added in Addendum No. 02 dated July 28, 2026, assume full thickness plaster replacement at water damaged plaster repair areas indicated. Additionally, please refer to RFI #s 4, 5, and 6 of said addendum, for further details.

RFI-16.

Question: Document Reference A4.01. Could you please clarify what type of cleaning is intended after the letters are removed? Specifically, is this referring to localized masonry cleaning at the former letter locations, cleaning of the entire masonry surface, or another scope?

Response: Please refer to Keynote D2 on drawing A4.01. It is specifically related to the existing historic building letters. Cleaning of all existing limestone surfaces is referenced on drawing A4.02, keynote E10, item #7. Please also refer to Specification Section 04 03 02 General Cleaning of Exterior Limestone of the Contract Documents.

RFI-17.

Question: For the note "Repair limestone at anchor points" following removal of the metal window grates, should this be considered one repair per window grate (anchor point repairs only), or is there an anticipated repair quantity or repair area that should be used for bidding purposes?

Response: [Bid seven anchor points per window grate.](#)

RFI-18.

Question: Are metal studs permitted for the new gypsum board assemblies in lieu of wood studs?

Response: [Wood studs are specified to be consistent with existing interior building framing. Metal studs are a request for substitution which requires compliance with substitution procedures.](#)

This Addendum includes the following hyperlinked Documents:

1. [Page 6 of 44 – Book 1 Instructions to Bidders - Update to Time of Completion](#)
2. [Page 10 of 44 – Book 1 Instructions to Bidders - Update to Basis of Award](#)
3. [Page 15 of 44 – Book 1 Instructions to Bidders – Revised Bid Form \(Excel Version\)](#)
4. [Page 16 of 44 – Book 1 Instructions to Bidders - Update to Allowance](#)
5. [Page 18 of 44 – Book 1 Instructions to Bidders - Update to Award Criteria](#)

This Addendum includes the following attached Documents:

1. Specification Section 00 01 02 – Table of Contents
2. Specification Section 10 14 19 – Dimensional Letter Signage, dated 07/30/2026.

This Addendum includes the following attached Drawings:

1. G.02 SHEET INDEX, SYMBOLS AND ABBREVIATIONS, dated 07/30/2026.
2. C0.00 GENERAL NOTES AND DETAILS, dated 07/30/2026.
3. S1.02 NEW RAMP AND STAIR PARTIAL PLAN AND DETAILS, dated 07/30/2026.
4. ENV1.0 LOWER LEVEL FLOOR ABATEMENT PLAN, dated 07/30/2026
5. ENV1.1 GROUND LEVEL FLOOR ABATEMENT PLAN, dated 07/30/2026
6. ENV1.2 EAST ELEVATION ABATEMENT PLAN, dated 07/30/2026
7. ENV1.4 ROOF LEVEL FLOOR ABATEMENT PLAN, dated 07/30/2026

END OF ADDENDUM NO. 03

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END OF SPECIFICATIONS

SECTION 10 14 19

DIMENSIONAL LETTER SIGNAGE

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Dimensional letter signage.

1.02 REFERENCE STANDARDS

- A. 36 CFR 1191 - Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities; Architectural Barriers Act (ABA) Accessibility Guidelines; current edition.
- B. ADA Standards - 2010 ADA Standards for Accessible Design; 2010.
- C. ICC A117.1 - Accessible and Usable Buildings and Facilities; 2017.

1.03 SUBMITTALS

- A. Product Data: Manufacturer's product literature for each type of dimensional letter sign, indicating style, font, colors, locations, and overall dimensions of each sign.
- B. Shop Drawings:
 - 1. Include dimensions, locations, elevations, materials, text and graphic layout, and attachment details.
- C. Samples: Submit one sample of each type of dimensional letter sign of size similar to that required for project, indicating sign style, font, and method of attachment.
- D. Manufacturer's Installation Instructions: Include installation templates and attachment devices.
- E. Manufacturer's qualification statement.

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years of documented experience.

1.05 DELIVERY, STORAGE, AND HANDLING

- A. Package dimensional letter signs as required to prevent damage before installation.
- B. Store under cover and elevated above grade.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Dimensional Letter Signs:
 - 1. CityScapes Inc: www.cityscapesinc.com/#sle.
 - 2. Inpro Corporation: www.inprocorp.com/#sle.
 - 3. Takeform: www.takeform.net/#sle.

2.02 REGULATORY REQUIREMENTS

- A. Accessibility Requirements: Comply with ADA Standards and ICC A117.1 and applicable building codes, unless otherwise indicated; in the event of conflicting requirements, comply with the most restrictive requirements.

2.03 DIMENSIONAL LETTERS

- A. Applications: Building identification.
 - 1. Use individual metal letters.
 - 2. Mounting Location: Exterior as indicated on drawings.

1

- B. Metal Letters:
 - 1. Material: Cut from aluminum plate.
 - 2. Thickness: Replicate existing historic signage letters at east entrance. **Approximately 1/4" thick. Verify in field.**
 - 3. Letter Height: Replicate existing historic signage letters at east entrance.
 - a. **Upper Row: Approximately 12" tall. Verify in field.**
 - b. **Lower Row: Approximately 9" tall. Verify in field.**
 - 4. Text and Typeface:
 - a. **Custom** Character Font: Replicate existing historic signage letters at east entrance.
 - 5. Finish: As selected by Architect from manufacturer's full range.
 - 6. Color: As selected by Architect from manufacturer's full range.
 - 7. Mounting: Projected mount with collars. **Approximately 1.5" stand-offs. Verify in field.**

2.04 ACCESSORIES

- A. Concealed Screws: Noncorroding metal; galvanized steel.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that substrate surfaces are ready to receive work.
- B. Notify Architect if conditions are not suitable for installation of signs; do not proceed until conditions are satisfactory.

3.02 INSTALLATION

- A. Install in accordance with manufacturer's instructions.
- B. Install with horizontal edges level.
- C. Locate dimensional letter signs and mount at heights indicated on drawings and in accordance with ADA Standards and ICC A117.1.
- D. Protect installed signage from damage; repair or replace damaged items.

END OF SECTION

ABV	Above	GR	Grille	UNFN	Unfinished
ACC	Accessories	GT	Glass Tile	UU	Unless Noted Otherwise
ACP	Acoustical Ceiling Panel	GYP	Gypsum	UU	Utility Unit
ACT	Acoustical Ceiling Tile	HB	Hose Bib	VB	Vapor Barrier
ADA	Americans with Disabilities Act	HD	Head	VCB	Vinyl Cove Base
ADJ	Adjacent	HDR	Hand Dryer	VCT	Vinyl Composition Tile
AFF	Above Finished Floor	HDWR	Hardware	VERT	Vertical
ALT	Alternate	INSUL	Insulation/Insulated/Insulating	VEST	Vestibule
ALUM	Aluminum	LH	Left Hand	VWC	Vinyl Wall Covering
ANG	Angle	LP	Low Point	W	Wide/Width
ANOD	Anodized	LTG	Lighting	W/	With
APPO	Approved	LVR	Louver	W/O	Without
APPROX	Approximate	MAS	Masonry		
ARCH	Architect, Architecture, Architectural	MATL	Material		
AVG	Average	MAX	Maximum		
AX	Access	MECH	Mechanical		
AXD	Access Door	MEP	Mechanical/Electrical/Plumbing		
AXF	Access Flooring	MEZZ	Mezzanine		
AXP	Access Panel	MFR	Manufacturer		
B/	Bottom of	MGR	Manager		
BGS	Baby Changing Station	MIN	Minimum		
BD	Board	MISC	Miscellaneous		
BHS	Baggage Handling System	MO	Masonry Opening		
BLDG	Building	MT	Miscellaneous Equipment		
BLKG	Blocking	MTD	Mounted		
BOT	Bottom	MTL	Metal		
CC	Center to Center	MU	Minor Unit		
CC	Cash Basis	MW	Mineral Wool		
CB	Concrete Coating	MWP	Metal Wall Panel		
CD	Concrete Densifier	N/A	Not Applicable		
CFS	Concrete Floor Stain	NIC	Not in Contract		
CJ	Control Joint	NTS	Not to Scale		
CL	Center Line	NUM	Number		
CLG	Ceiling	OC	On Center		
CLO	Closest	OD	Outside Diameter		
CLR	Clear	OFCI	Owner Furnished Contractor Installed		
CMU	Concrete Masonry Unit	OFOI	Owner Furnished Owner Installed		
CNR	Counter	OH	Overhead		
CO	Clean Out	OPHD	Opposite Hand		
COL	Column	OPNG	Opening		
CONC	Concrete	OPP	Opposite		
CONF	Conference	OPS	Outdoor Paint System		
CONST	Construction	PCB	Portland Cement Board		
CONT	Continued, Continuous	PCP	Portland Cement Plaster		
CONTR	Contractor	PLBG	Plumbing		
COORD	Coordinate	PLYWB	Plywood		
CORR	Corridor	PNL	Panel		
CPP	Cement Polymer Plaster	POL	Polished		
CPT	Carpel	PR	Pair		
CS	Liquid Membrane Curing and Sealing Compound	PSF	Pounds per Square Foot		
CSC	Concrete Sealer Densifier	PSI	Pound per Square Inch		
CT	Ceramic Tile	PT	Planted		
CTR	Center	PTD	Paper Towel Dispenser		
CU	Cubic	PTR	Paper Towel Receptacle		
D	Depth/Deep	PTT	Point of Tangency		
DEPT	Department	PVMT	Pavement		
DET	Detail	QTY	Quantity		
DG	Detention Glazing	R	Radius		
DIA	Diameter	R	Rise(s)		
DIM	Dimension	RAF	Raised Access Flooring		
DN	Down	RB	Resilient Base		
DR	Door	RD	Roof Drain		
DRL	Door Louver	REF	Reference		
DRO	Door Opening	REINF	Reinforce(d)(ing)(ment)		
DS	Down Spout	REQD	Required		
DWG(S)	Drawing(s)	REV	Revise, Revision		
EA	Each	RF	Resilient Flooring		
ECA	Expansion Control Assembly	RM	Room		
EJ	Expansion Joint	RO	Rough Opening		
EL	Elevation	SAB	Sound Attenuation Blanket		
ELEC	Electrical	SAP	Sound Absorbing Panel		
ELEV	Elevator	SBA	Shower and Bath Accessory		
ENCL	Endorse/Enclosure	SCHED	Schedule(d)		
ENG	Engineer	SD	Soap Dispenser		
EO	Equal	SOT	Static Dissipative Tile		
EQMT	Equipment	SECT	Section		
EST	Estimate	SHT	Sheet		
EWG	Electric Water Cooler	SM	Similar		
EXP	Expansion	SPD	Soap Dispenser		
EXST	Existing	SPEC	Specification		
EXT	Exterior	SQ	Square		
FB	Fire Barrier	SS	Stainless Steel		
FD	Floor Drain	SSM	Solid Surface Material		
FDN	Foundation	SST	Sound Transmission Class		
FE	Fire Extinguisher	STD	Standard		
FEC	Fire Extinguisher Cabinet	STL	Steel		
FF	Finished Floor	STOR	Storage		
FHC	Fire Hose Cabinet	STRUCT	Structure/Structure		
FIN	Finish(es)	STT	Stone Paver Tile		
FIXT	Fixture	SUPT	Support		
FLR	Floor	SUSP	Suspended		
FLO	Floor Outlet	SX			
FP-I	Fire Proofing-Intumescent	T	Tread(s)		
FP-S	Fire Proofing-Sprayed	T1	Terminal 1		
FR	Furniture	T2	Terminal 2		
FRPP	Fiber Reinforced Plastic Panel	T	Top of		
FTG	Footing	TD	Trench Drain		
G	Glazing	TEMP	Temporary		
GA	Gauge	TH	Tempered Glass		
GALV/	Galvanized/Zinc Coated	THK	Thick, Thickness		
GB	Grid Bar	THRES	Threshold		
GC	General Contractor	THRU	Through		</

	ALUMINUM		FINISH WOOD		RIGID INSULATION
	BRICK		GLASS		ROUGH WOOD
	CERAMIC TILE		GRAVEL		SAND FILL
	CONCRETE		GYPSUM BOARD		STEEL
	CONCRETE BLOCK		LOOSE OR BATT INSULATION		WATERPROOF MEMBRANE
	CONCRETE TILT-UP PANEL		PARTICLE BOARD		BRICK
	EARTH		PLYWOOD		

DETAIL CALLOUT

DETAIL NUMBER
CALLOUT
SHEET NUMBER

ELEVATION - INTERIOR

DETAIL NUMBER
SHEET NUMBER
N
W
A-101
E
S

ELEVATION - EXTERIOR

DETAIL NUMBER
SHEET NUMBER
A-101

ELEVATION - DATUM

LEVEL NAME
LEVEL LINE
LEVEL ELEVATION

SECTION

SIM
DETAIL NUMBER
SHEET NUMBER
A-101

SPOT ELEVATION TAG

ITEM LOCATION
ELEVATION
1/2" STEEL
EL. + 96'-0"

DRAWING TITLE

DRAWING NUMBER
1
NORTH ELEVATION
1/8" = 1'-0"
DRAWING NAME
DRAWING SCALE

BREAK LINE

CEILING TAG

CEILING TYPE
CEILING HEIGHT

CENTER LINE

COLUMN BUBBLE

NEW & EXISTING
0

DOOR & BORROWED LIGHT TAG

101A

EQUIPMENT TAG

XX-XXX

NORTH ARROW

(ALL "A" DWGS ARE ORIENTATED WITH NORTH TO THE TOP OF THE SHEET UNO)

REVISION TAG

1

ROOM TAG

ROOM NAME
LOBBY
101
ROOM NUMBER

WALL TAG

11

NOTE: ALIGN LOW/HIGH DEVICES AT CENTER LINE, 10'0" SPACING WHERE DEVICES ARE IN CLOSE PROXIMITY

FLOOR LINE

ADA SIGN 4'-0"

TACTILE CHARACTERS 6'-0"

SINGLE OUTLET 1'-3"

DUPLEX OUTLET 1'-3"

PHONE/DATA 1'-5"

WALL PHONE 4'-0"

THERMOSTAT 4'-0"

WALL SWITCH 4'-0"

FIRE ALARM PULL 4'-0"

FIRE ALARM STROBE 6'-8"

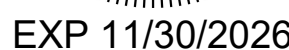
FIRE EXTINGUISHER 4'-0"

DOOR PULL 5'-0"

SWITCH/DIMMER 4'

5'-4"

PLAN VIEW

[illegible]

SHERMAN PARK BRANCH
LIBRARY REPAIRS & RENOVATIONS

5440 SOUTH RACINE AVE
CHICAGO, IL 60609

CITY OF CHICAGO, DEPARTMENT OF FLEET &
FACILITY MANAGEMENT

Architect of Record:
TILTON, KELLY + BELL PLLC



ADDRESS: 3838 N RAVENSWOOD
AVENUE
CHICAGO, ILLINOIS 60613
PHONE: 312.447.3100
WEB: www.tiltonkellybell.com

**RUBINOS & MESIA
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Civil/Structural Engineers of Record

CCJM ENGINEERS, LTD
303 E Wacker Dr #303
Chicago, IL 60601

GREENPRINT PARTNERS
17 N State St #1400
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707 Davis Road, Suite A-100
Elgin, IL 60123

Roofing Systems Consultant

db HMS
306 W Erie St, Suite 600
Chicago, IL 60654
312.915.0557
Commissioning Agent

Issuance		
Mark	Description	Date
	ISSUED FOR BID	06/30/2017
1	ADDENDUM NO.3	07/30/2017

**PBC Project Name: Sherman Park Branch
Library - Repairs and Renovations**

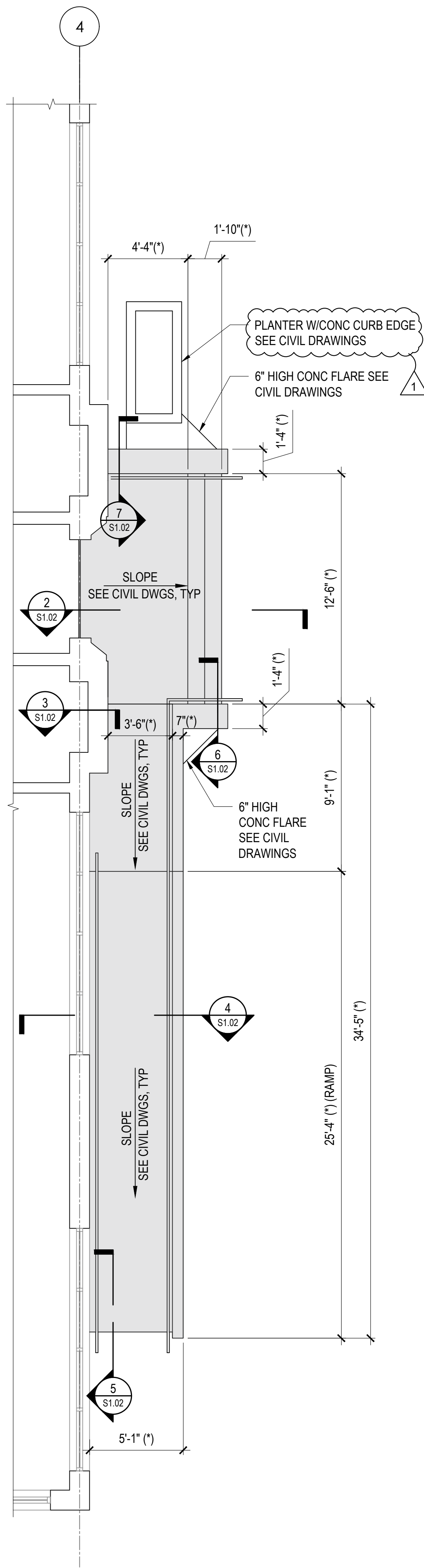
PBC Contract No: C1630

Project No.: 08325

Title SHEET_INDEX
SYMBOLS_&
ABBREVIATIONS
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Sheet

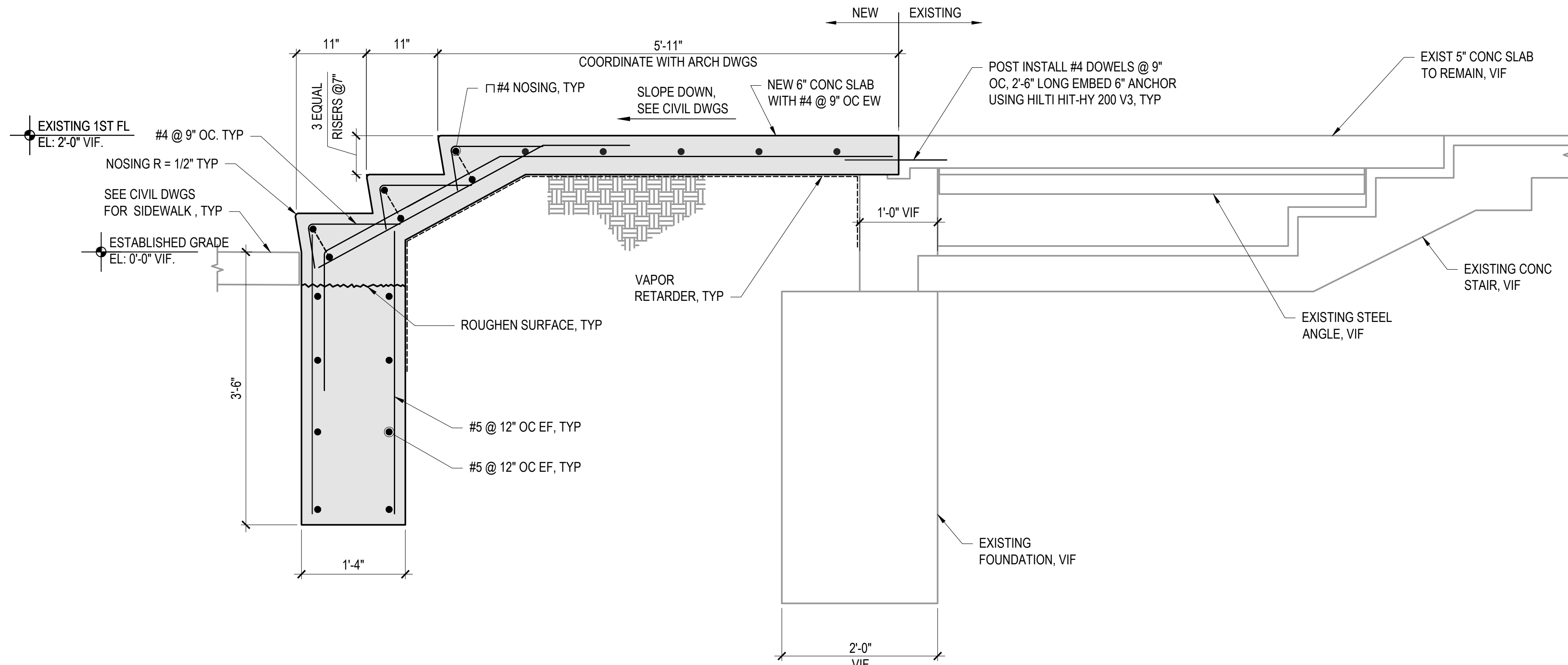
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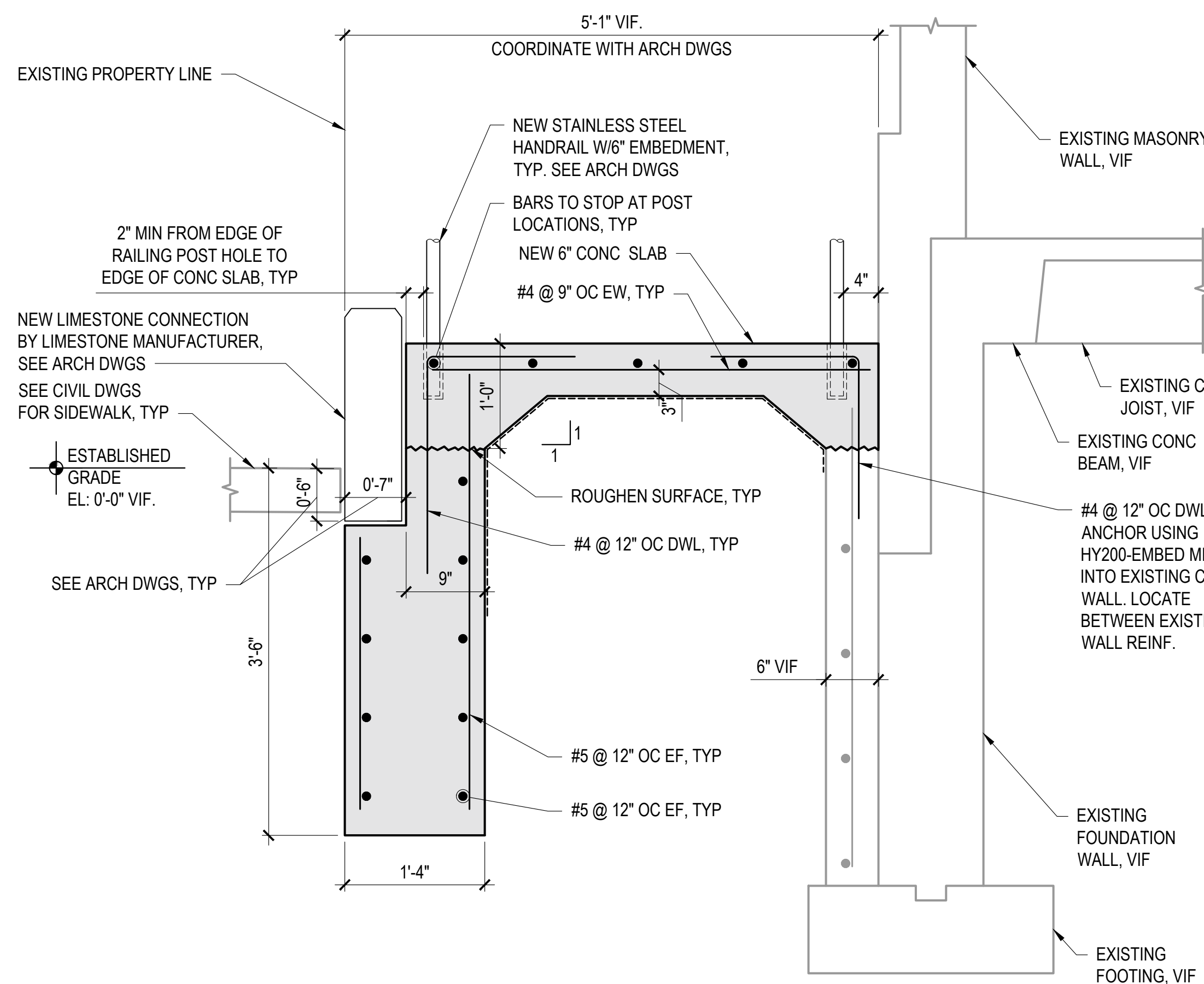
1 NEW RAMP/STAIR PARTIAL PLAN
SCALE: 1/4" = 1'-0"

DIMENSION NOTE:

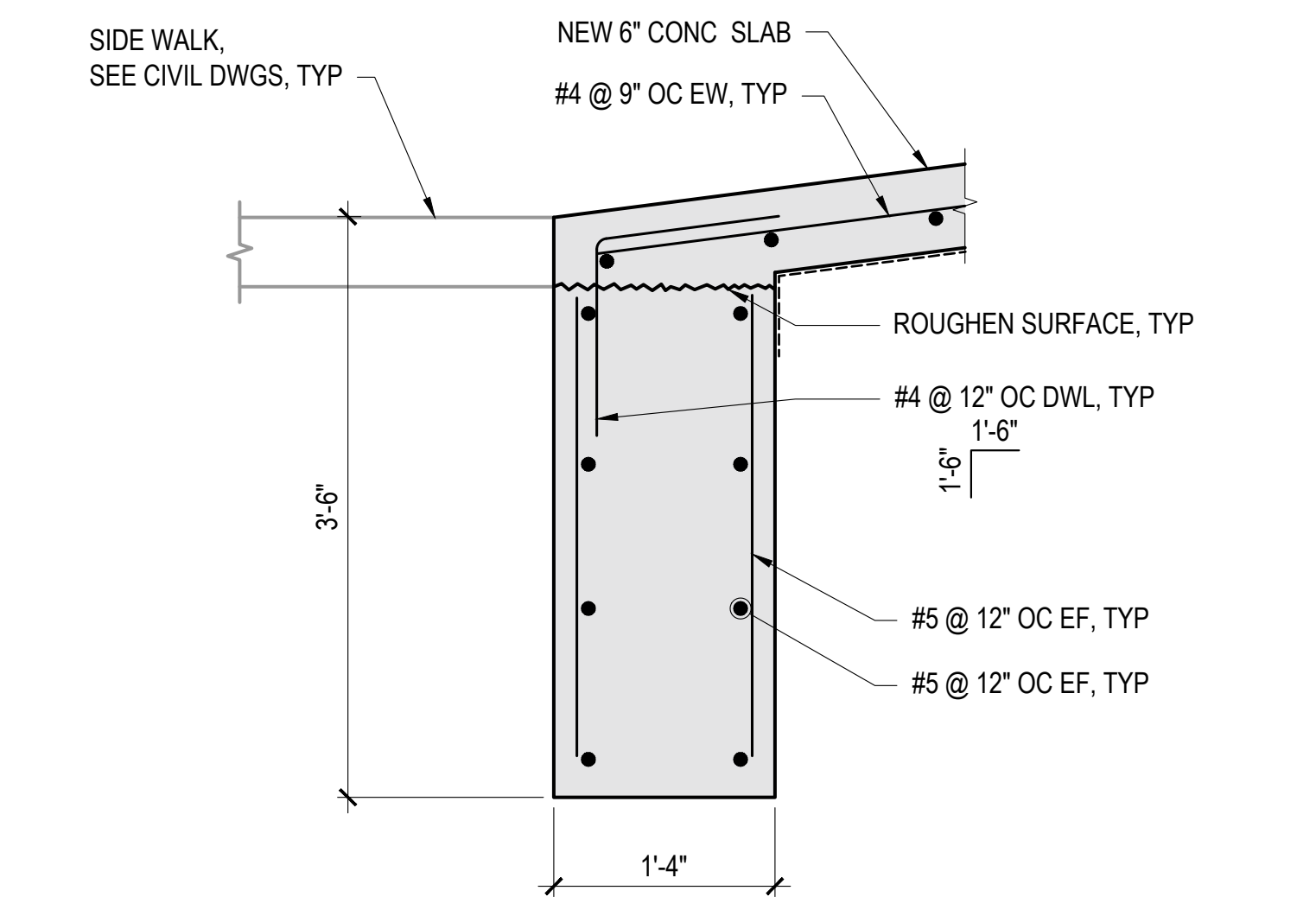
- (*) COORDINATE DIMENSIONS WITH ARCHITECTURAL AND CIVIL DRAWINGS, TYPICAL.
- FOR RAMP/LANDING SLOPE, COORDINATE WITH CIVIL DRAWINGS.



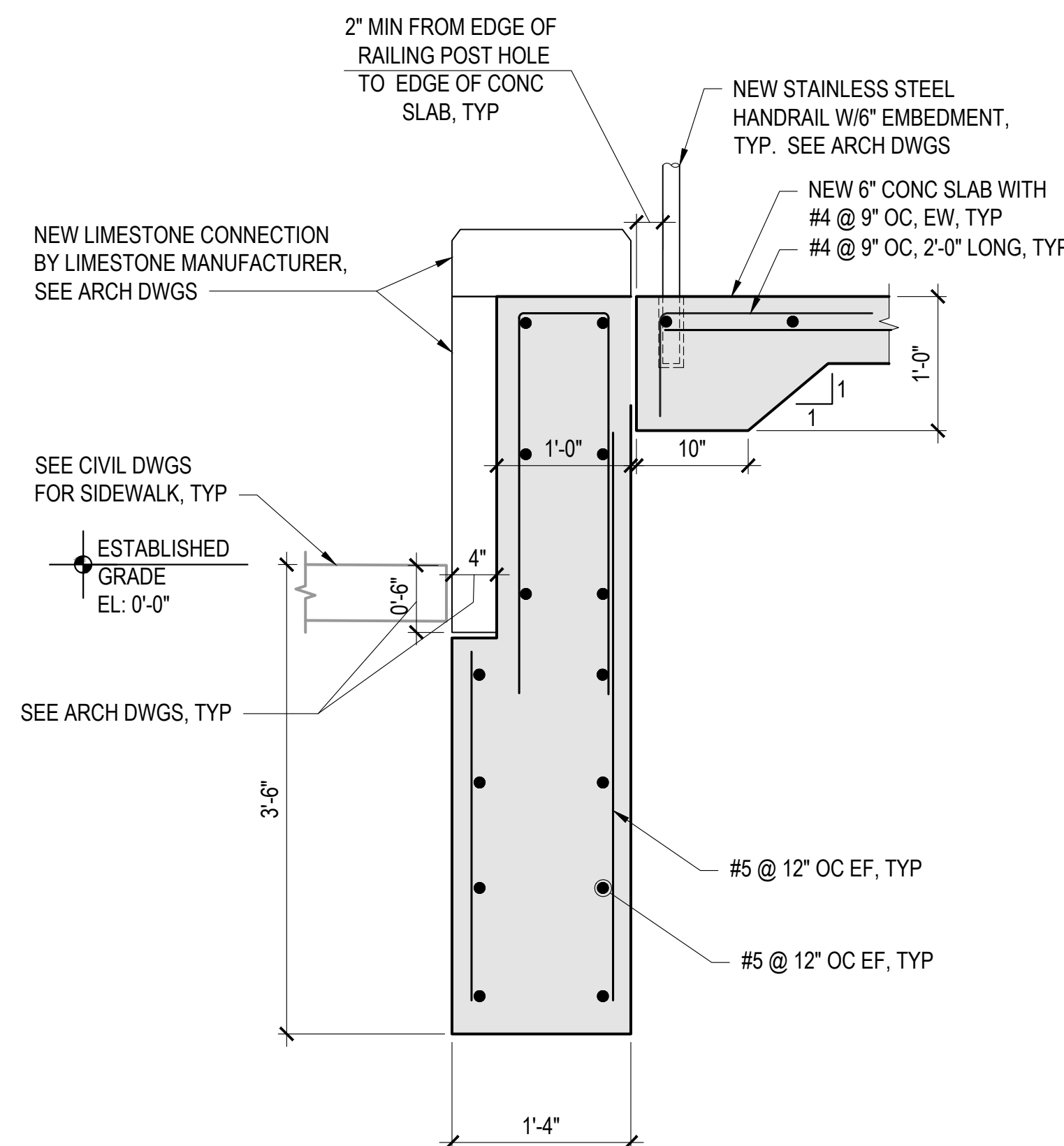
2 SECTION
SCALE: 1" = 1'-0"



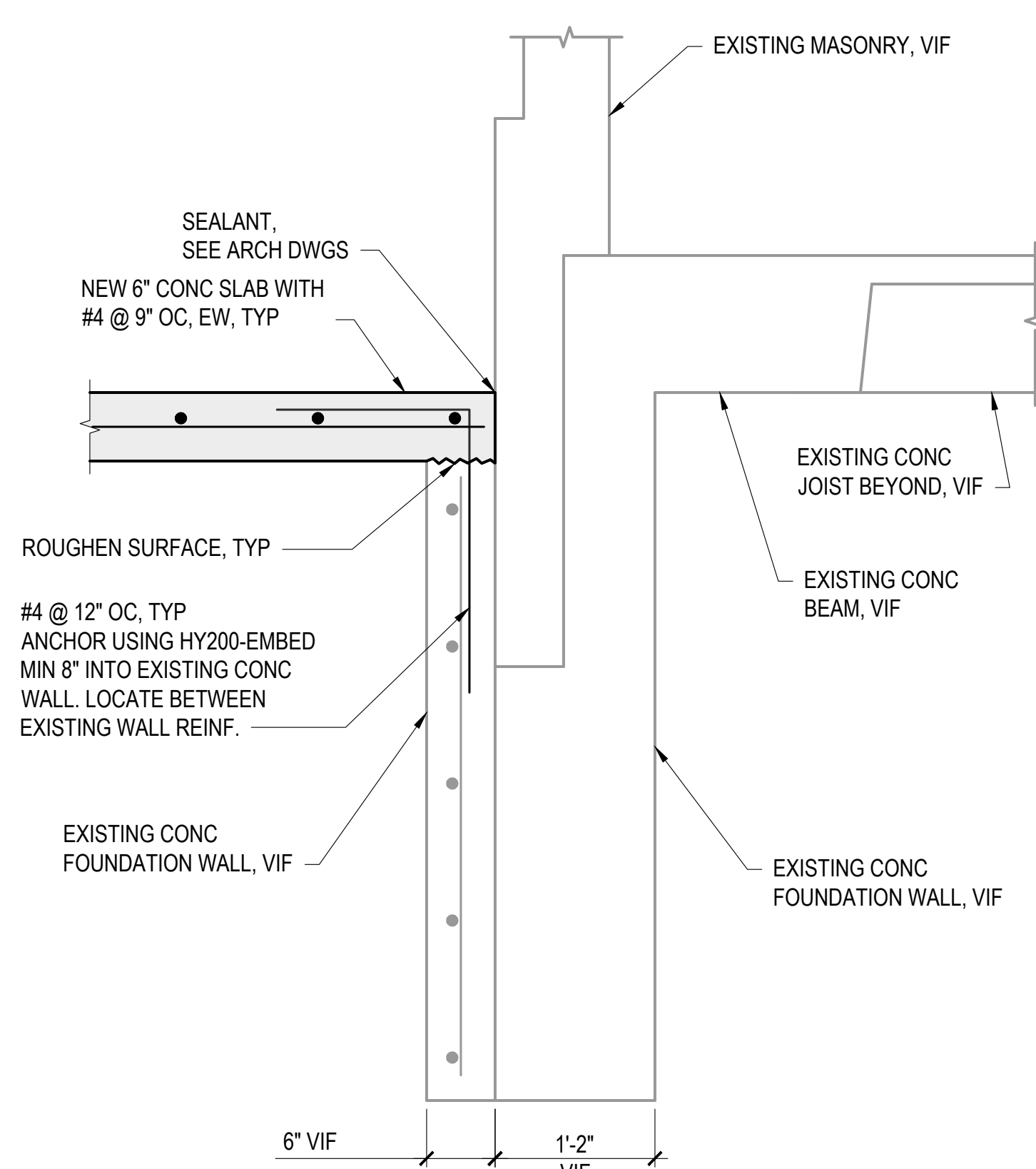
3 SECTION
SCALE: 1" = 1'-0"



4 SECTION
SCALE: 1" = 1'-0"



5 SECTION
SCALE: 1" = 1'-0"



6 SECTION
SCALE: 1" = 1'-0"

LEGEND:

	NEW WORK
	EXISTING

- NOTES:**
- ALL EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD PRIOR TO ANY FABRICATION OR CONSTRUCTION.
 - VERIFY ALL DIMENSIONS, DETAILS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.



**SHERMAN PARK BRANCH
LIBRARY REPAIRS & RENOVATIONS**
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Issuance

Mark	Description	Date
	ISSUED FOR BID	06/30/2026
1	ADDENDUM 3	07/30/2026

PBC Project Name: Sherman Park Branch Library - Repairs and Renovations

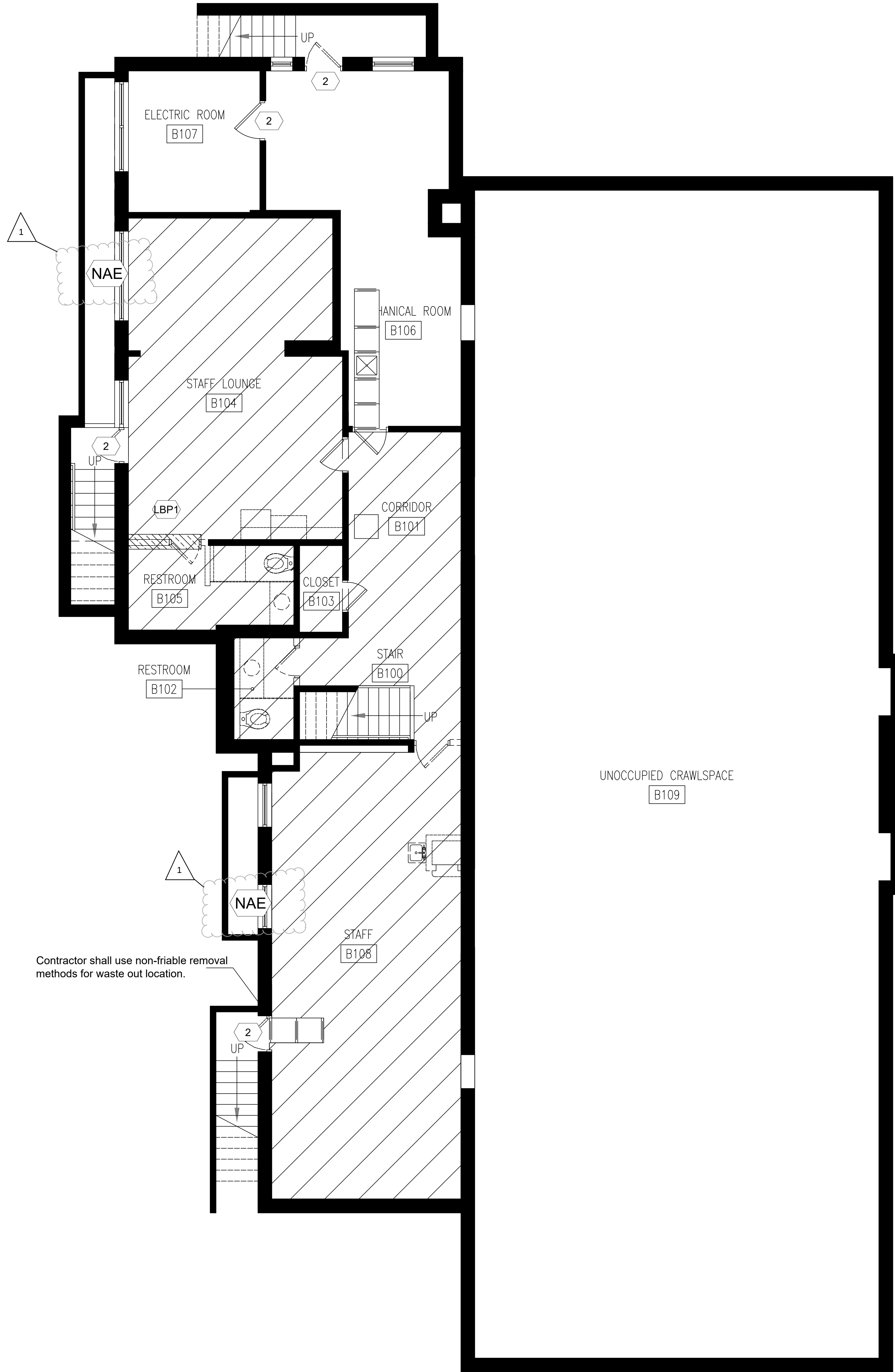
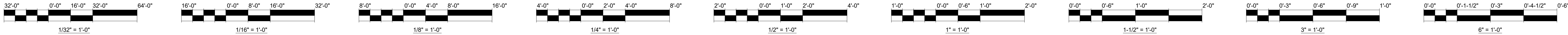
PBC Contract No: C1630

Project No.: 08325

Title
NEW RAMP AND STAIR
PARTIAL PLAN AND DETAILS
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Sheet

S1.02



ASBESTOS ABATEMENT SCOPE OF WORK

- ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING FLOOR TILE AND FLOOR TILE MASTIC (BLACK AND YELLOW MASTICS PRESENT).
- ASBESTOS ABATEMENT: ABATEMENT CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AND CONDUCT SELECTIVE DEMOLITION OF BOOKCASES/ABANDONED RADIATOR AS NEEDED FOR PARTITION REMOVAL BY OTHERS. IF PRESENT, ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS BOARD.
- ALL WORK SHALL BE CONDUCTED PER SPECIFICATION 02 82 14 AND ALL APPLICABLE CITY OF CHICAGO, IEPA, IDPH, AND OSHA RULES AND REGULATIONS.

LEAD-BASED PAINT SCOPE OF WORK

- LEAD-BASED PAINT ABATEMENT/SELECTIVE DEMOLITION: REMOVAL AND DISPOSAL OF PAINT AND SURFACE COATINGS AS NEEDED FOR DEMOLITION OF DOOR, FRAME, AND HARDWARE.
- LEAD-BASED PAINT ABATEMENT: SALVAGE AND REMEDIATE EXISTING SIGNAGE.
- LEAD-BASED PAINT ABATEMENT: EXISTING LEAD PLUMBING VENTS SHALL BE PREPARED, PRIMED, AND PAINTED.
- ALL WORK SHALL BE CONDUCTED PER SPECIFICATION 02 83 19 AND ALL APPLICABLE CITY OF CHICAGO EPA, IDPH, AND OSHA RULES AND REGULATIONS.

GENERAL NOTES

- REFER TO ARCHITECT OF RECORD'S (AOR'S) DESIGN DRAWINGS AND DOCUMENTS FOR DETAILS. ALL WORK SHALL BE PERFORMED PER AOR'S SCHEDULE.
- PROPOSED FUTURE CONSTRUCTION SHOWN ON THE ABATEMENT PLANS IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR SHALL NOT USE THE ABATEMENT PLANS FOR ANY PROPOSED FUTURE CONSTRUCTION.
- ACCESS TO WORK AREAS AND PROJECT PHASING TO BE DETERMINED BY COMMISSION'S REPRESENTATIVE, BUILDING OWNER AND CONTRACTOR.
- ASBESTOS AND LEAD-BASED PAINT ABATEMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, CITY OF CHICAGO, IDPH, EPA AND OSHA RULES AND REGULATIONS.
- UTILIZE THE MOST STRINGENT METHOD WHEN THERE IS A CONFLICT REGARDING ANY SPECIFIC METHOD.
- ANY QUESTIONS OR CLARIFICATIONS CONCERNING THE SCOPE SHALL BE OBTAINED FROM THE PROJECT DESIGNER PRIOR TO BIDDING. ANY INTERPRETATIONS OF THE DESIGN DOCUMENTS SHALL ONLY BE MADE BY THE PROJECT DESIGNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY TO THE WORK AREA(S) DURING THE ENVIRONMENTAL ABATEMENT AND REPLACEMENT ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR THEFTS TO PROPERTY IN THE WORK AREA(S), UNTIL THE AREA(S) ARE RETURNED TO THE OWNER. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED OR STOLEN PROPERTY TO THE SATISFACTION OF THE COMMISSION'S REPRESENTATIVE AND OWNER, AND AT NO ADDITIONAL COST.
- CONSTRUCTION SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH IDPH SECTION 855.410. CLEAN ROOM SHALL BE SIZED TO ACCOMMODATE THE NEEDS OF THE WORK CREW. DONNING AND DOFFING OF PPE OUTSIDE OF CLEAN ROOM IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL NOT PERFORM ANY ENVIRONMENTAL ABATEMENT AND/OR MITIGATION WORK WHEN OCCUPANTS ARE PRESENT ON THE PREMISES UNLESS APPROPRIATE SEPARATION BARRIERS ARE INSTALLED TO ENSURE THE SAFETY OF THE OCCUPANTS. ENVIRONMENTAL ABATEMENT/MITIGATION WORK SHALL NOT BE PERFORMED WHEN STUDENTS ARE PRESENT ON THE PREMISES.
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- THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE IDPH LEAD POISONING PREVENTION CODE, INCLUDING BUT NOT LIMITED TO SUBMISSION OF THE WORK PRACTICES AND OCCUPANT PROTECTION PLAN AND WRITTEN ASSURANCE STATEMENTS.
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- PRE-CLEANING ACTIVITIES SHALL BE CONDUCTED PRIOR TO ABATEMENT ACTIVITIES.
- ALL WORKERS SHALL BE LICENSED ASBESTOS WORKERS AND/OR LEAD WORKERS AS DEFINED BY IDPH.
- CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL LAYERS OF FLOORING AND SUBFLOORING DOWN TO THE ORIGINAL FLOOR SYSTEM, OR THE CONCRETE FLOOR SLAB AS APPLICABLE.

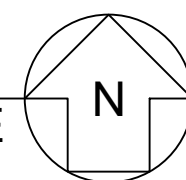
ABATEMENT PLAN LEGEND:

- REMOVE AND DISPOSE OF FLOOR TILE AND FLOOR TILE MASTIC (ALL LAYERS)
- ABATEMENT/SELECTIVE DEMOLITION
- EXTENT OF LEAD-BASED PAINT AREA
- LOCATION OF EQUIPMENT DECONTAMINATION UNIT
- LOCATION OF WASTE OUT
- CONSTRUCTION BARRIER WITH LOCKABLE DOOR
- CONTRACTOR TO SECURE DOOR & CONTROL ACCESS
- LOCATION OF NEGATIVE AIR EXHAUST

0

ABATEMENT PLAN LOWER LEVEL FLOOR

NOT TO SCALE



SHERMAN PARK BRANCH LIBRARY REPAIRS & RENOVATIONS

5440 SOUTH RACINE AVE
CHICAGO, IL 60609
CITY OF CHICAGO DEPARTMENT OF
FLEET AND FACILITY

Architect of Record:
TILTON, KELLY + BELL, PLLC



ADDRESS: 3838 N RAVENSWOOD
AVENUE
CHICAGO, ILLINOIS 606
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Roofing Systems Consultant

db HMS
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312.915.0557
Commissioning Agent

Issuance

MARK	DESCRIPTION	DATE
	ISSUE FOR BID	06/30/26
	ADDENDUM 2	07/28/26
1	ADDENDUM 3	07/30/26

PBC Project Name: SHERMAN PARK BRANCH
LIBRARY

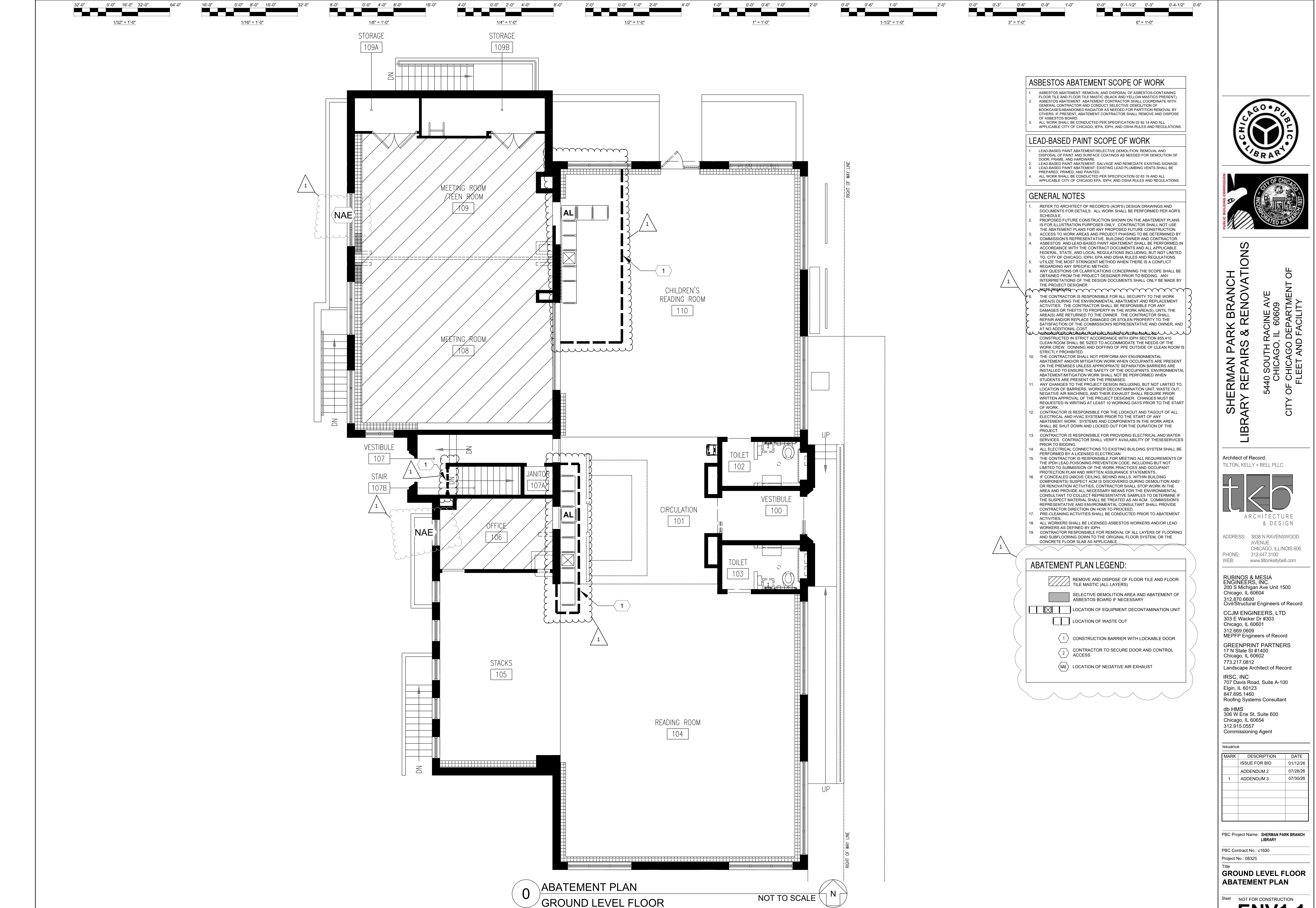
PBC Contract No: C1630
Project No: 08325

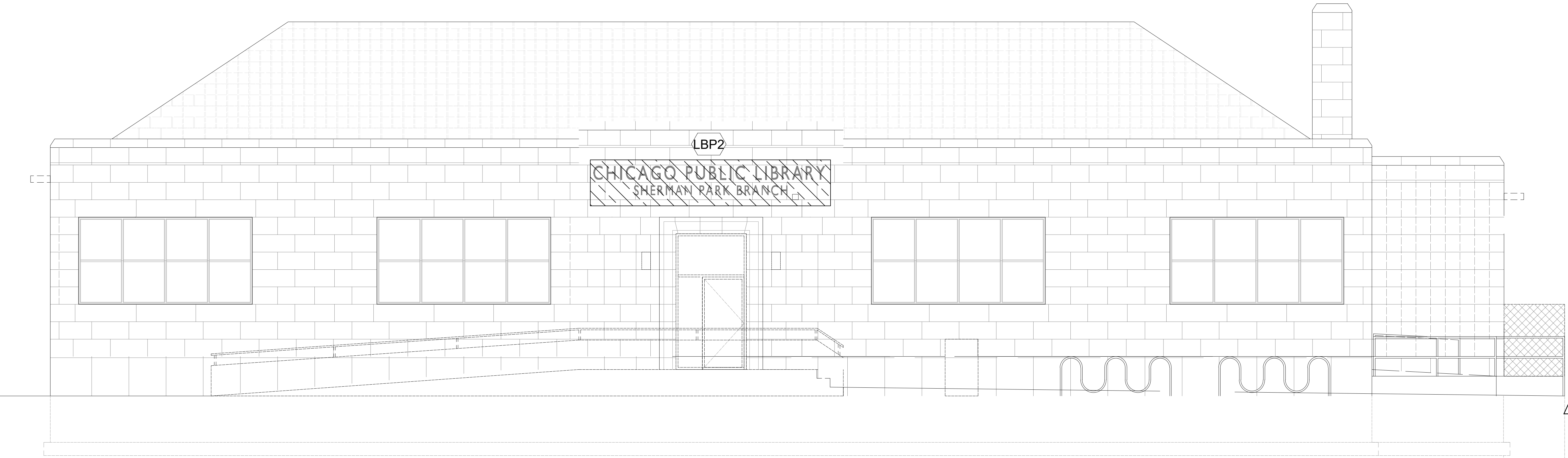
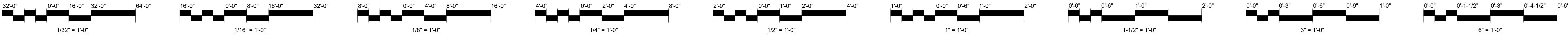
Title

LOWER LEVEL FLOOR ABATEMENT PLAN

Sheet NOT FOR CONSTRUCTION

ENV1.0





ASBESTOS ABATEMENT SCOPE OF WORK

- ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING FLOOR TILE AND FLOOR TILE MASTIC (BLACK AND YELLOW MASTICS PRESENT).
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LEAD-BASED PAINT SCOPE OF WORK

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ABATEMENT PLAN LEGEND:

- SALVAGE AND REMEDIATE EXISTING SIGNAGE
- EXTENT OF LEAD-BASED PAINT AREA

0 ABATEMENT PLAN
EAST ELEVATION

NOT TO SCALE

N



SHERMAN PARK BRANCH
LIBRARY REPAIRS & RENOVATIONS

5440 SOUTH RACINE AVE
CHICAGO, IL 60609

CITY OF CHICAGO DEPARTMENT OF
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Architect of Record:
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Issuance

MARK	DESCRIPTION	DATE
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	ADDENDUM 2	07/28/26
1	ADDENDUM 3	07/30/26

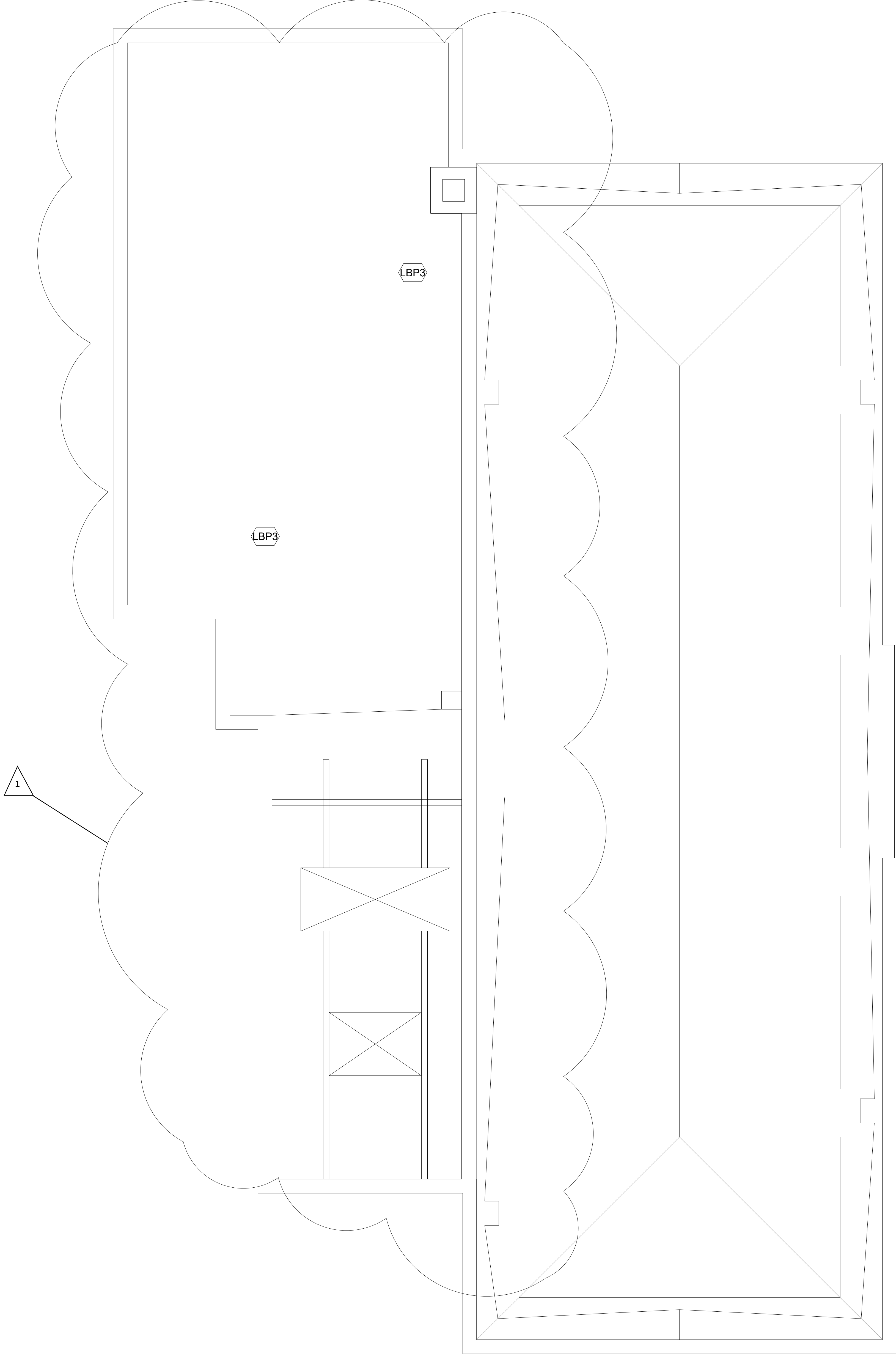
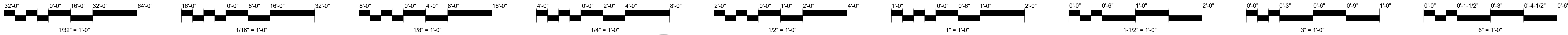
PBC Project Name: SHERMAN PARK BRANCH
LIBRARY

PBC Contract No: c1630
Project No: 08325

Title
EAST ELEVATION
ABATEMENT PLAN

Sheet NOT FOR CONSTRUCTION

ENV1.2



ASBESTOS ABATEMENT SCOPE OF WORK

- ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING FLOOR TILE AND FLOOR TILE MASTIC (BLACK AND YELLOW MASTICS PRESENT).
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- ALL WORK SHALL BE CONDUCTED PER SPECIFICATION 02 82 14 AND ALL APPLICABLE CITY OF CHICAGO, IEPA, IDPH, AND OSHA RULES AND REGULATIONS.

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- ALL WORK SHALL BE CONDUCTED PER SPECIFICATION 02 83 19 AND ALL APPLICABLE CITY OF CHICAGO EPA, IDPH, AND OSHA RULES AND REGULATIONS.

GENERAL NOTES

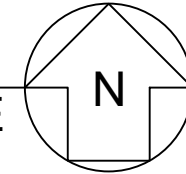
- REFER TO ARCHITECT OF RECORD'S (AOR'S) DESIGN DRAWINGS AND DOCUMENTS FOR DETAILS. ALL WORK SHALL BE PERFORMED PER AOR'S SCHEDULE.
- PROPOSED FUTURE CONSTRUCTION SHOWN ON THE ABATEMENT PLANS IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR SHALL NOT USE THE ABATEMENT PLANS FOR ANY PROPOSED FUTURE CONSTRUCTION.
- ACCESS TO WORK AREAS AND PROJECT PHASING TO BE DETERMINED BY COMMISSION'S REPRESENTATIVE, BUILDING OWNER AND CONTRACTOR.
- ASBESTOS AND LEAD-BASED PAINT ABATEMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, CITY OF CHICAGO, IDPH, EPA AND OSHA RULES AND REGULATIONS.
- UTILIZE THE MOST STRINGENT METHOD WHEN THERE IS A CONFLICT REGARDING ANY SPECIFIC METHOD.
- ANY QUESTIONS OR CLARIFICATIONS CONCERNING THE SCOPE SHALL BE OBTAINED FROM THE PROJECT DESIGNER PRIOR TO BIDDING. ANY INTERPRETATIONS OF THE DESIGN DOCUMENTS SHALL ONLY BE MADE BY THE PROJECT DESIGNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY TO THE WORK AREA(S) DURING THE ENVIRONMENTAL ABATEMENT AND REPLACEMENT ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR THEFTS TO PROPERTY IN THE WORK AREAS(S). UNTIL THE AREA(S) ARE RETURNED TO THE OWNER, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED OR STOLEN PROPERTY TO THE SATISFACTION OF THE COMMISSION'S REPRESENTATIVE AND OWNER, AND AT NO ADDITIONAL COST.
- CONSTRUCTED IN STRICT ACCORDANCE WITH IDPH SECTION 855.410. CLEAN ROOM SHALL BE SIZED TO ACCOMMODATE THE NEEDS OF THE WORK CREW. DOWNING AND DOFFING OF PPE OUTSIDE OF CLEAN ROOM IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL NOT PERFORM ANY ENVIRONMENTAL ABATEMENT AND/OR MITIGATION WORK WHEN OCCUPANTS ARE PRESENT ON THE PREMISES UNLESS APPROPRIATE SEPARATION BARRIERS ARE INSTALLED TO ENSURE THE SAFETY OF THE OCCUPANTS. ENVIRONMENTAL ABATEMENT/MITIGATION WORK SHALL NOT BE PERFORMED WHEN STUDENTS ARE PRESENT ON THE PREMISES.
- ANY CHANGES TO THE PROJECT DESIGN INCLUDING, BUT NOT LIMITED TO, LOCATION OF BARRIERS, WORKER DECONTAMINATION UNIT, WASTE OUT, NEGATIVE AIR MACHINES, AND THEIR EXHAUST SHALL REQUIRE PRIOR WRITTEN APPROVAL OF THE PROJECT DESIGNER. CHANGES MUST BE REQUESTED IN WRITING AT LEAST 10 WORKING DAYS PRIOR TO THE START OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCKOUT AND TAGOUT OF ALL ELECTRICAL AND HVAC SYSTEMS PRIOR TO THE START OF ANY ABATEMENT WORK. SYSTEMS AND COMPONENTS IN THE WORK AREA SHALL BE SHUT DOWN AND LOCKED OUT FOR THE DURATION OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL AND WATER SERVICES. CONTRACTOR SHALL VERIFY AVAILABILITY OF THESE SERVICES PRIOR TO BIDDING.
- ALL ELECTRICAL CONNECTIONS TO EXISTING BUILDING SYSTEM SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE IDPH LEAD POISONING PREVENTION CODE, INCLUDING BUT NOT LIMITED TO SUBMISSION OF THE WORK PRACTICES AND OCCUPANT PROTECTION PLAN AND WRITTEN ASSURANCE STATEMENTS.
- IF CONCEALED ABOVE CEILING, BEHIND WALLS, WITHIN BUILDING COMPONENTS) SUSPECT ACM IS DISCOVERED DURING DEMOLITION AND/OR RENOVATION ACTIVITIES, CONTRACTOR SHALL STOP WORK IN THE AREA AND PROVIDE ALL NECESSARY MEANS FOR THE ENVIRONMENTAL CONSULTANT TO COLLECT REPRESENTATIVE SAMPLES TO DETERMINE IF THE SUSPECT MATERIAL SHALL BE TREATED AS AN ACM. COMMISSION'S REPRESENTATIVE AND ENVIRONMENTAL CONSULTANT SHALL PROVIDE CONTRACTOR DIRECTION ON HOW TO PROCEED.
- PRE-CLEANING ACTIVITIES SHALL BE CONDUCTED PRIOR TO ABATEMENT ACTIVITIES.
- ALL WORKERS SHALL BE LICENSED ASBESTOS WORKERS AND/OR LEAD WORKERS AS DEFINED BY IDPH.
- CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL LAYERS OF FLOORING AND SUBFLOORING DOWN TO THE ORIGINAL FLOOR SYSTEM, OR THE CONCRETE FLOOR SLAB AS APPLICABLE.

ABATEMENT PLAN LEGEND:

- LEAD PLUMBING VENTS TO BE PREPARED, PRIMED, AND PAINTED

0 ABATEMENT PLAN
ROOF LEVEL FLOOR

NOT TO SCALE



SHERMAN PARK BRANCH
LIBRARY REPAIRS & RENOVATIONS

5440 SOUTH RACINE AVE
CHICAGO, IL 60609

CITY OF CHICAGO DEPARTMENT OF
FLEET AND FACILITY

Architect of Record:
TILTON, KELLY + BELL, PLLC



ADDRESS: 3838 N RAVENSWOOD
AVENUE
CHICAGO, ILLINOIS 606
PHONE: 312.447.3100
WEB: www.tiltonkellybell.com

RUBINOS & MESIA
ENGINEERS, INC.
200 S Michigan Ave Unit 1500
Chicago, IL 60604
312.870.6600
Civil/Structural Engineers of Record

CCJM ENGINEERS, LTD
303 E Wacker Dr #303
Chicago, IL 60601
312.669.0609
MEFPF Engineers of Record

GREENPRINT PARTNERS
17 N State St #1400
Chicago, IL 60602
773.217.0812
Landscape Architect of Record

IRSC, INC
707 Davis Road, Suite A-100
Elgin, IL 60123
847.695.1460
Roofing Systems Consultant

db HMS
306 W Erie St, Suite 600
Chicago, IL 60654
312.915.0557
Commissioning Agent

Issuance

MARK	DESCRIPTION	DATE
	ISSUE FOR BID	06/30/26
	ADDENDUM 2	07/28/26
1	ADDENDUM 3	07/30/26

PBC Project Name: SHERMAN PARK BRANCH
LIBRARY

PBC Contract No: C1630
Project No: 08325

Title

ROOF LEVEL FLOOR
ABATEMENT PLAN

Sheet NOT FOR CONSTRUCTION

ENV1.3